

PLANNING COMMISSION

Agenda Item No.: G.1
Date: August 10, 2010

CASE NUMBER: SUB08-0030 & PHG08-0041

APPLICANT: Mr. Frank Fitzpatrick

LOCATION: Located at the south side of Reed Road, just east of Citrus Avenue and east of Bear Valley Parkway, addressed as 3200 Reed Road (APN 240-190-61 & 64)

TYPE OF PROJECT: A four lot Tentative Parcel Map, Grading Exemptions, the removal of 0.50-acres of Diegan Coastal Sage Scrub and the establishment of a Fuel Management Area.

PROJECT DESCRIPTION: A request to subdivide a vacant parcel 14.37-acre in size into 4-lots with lot sizes of 25,264 SF (Parcel 1), 21,344 SF (Parcel 2), 31,759 SF (Parcel 3), and 541,015 SF (Parcel 4). Grading Exemptions, the removal of 0.50-acres of Diegan Coastal Sage Scrub, the establishment of a Fuel Management Area, including off-site areas, and an on-site 20,000 gallon water tank for Parcel 4 are also proposed. The removal of Sage Scrub will be mitigated on-site by preserving 8.478-acres of Coastal Sage Scrub through the establishment of a conservation easement over the remaining portion of Parcel 4. The proposed grading exemptions are one fill slope and one cut slope, both 2:1, up to 30' high on Parcel 4. The proposed 20,000 gallon water tank would provide fire protection. Said project is located in the RE-20 zone (Residential Estates, 20,000 SF minimum lot size) and RE-80 zone (Residential Estates, 80,000 SF minimum lot size), and the Estate II (E2) General Plan Land Use designation, East Grove/Tier 2A. The project site is within the Hillside/Ridgeline Overlay District and includes proposed development on an intermediate ridge.

STAFF RECOMMENDATION: Approval

GENERAL PLAN DESIGNATION/TIER Estate II (E2), East Grove/Tier 2A

ZONING: RE-20 zone (Residential Estates, 20,000 SF minimum lot size) and RE-80 (Residential Estates, 80,000 SF minimum lot size).

BACKGROUND/SUMMARY OF ISSUES:

The subject property is 14.37-acres in size, currently undeveloped with avocado groves and native vegetation. Access to the proposed lots would be off of Reed Road, which is an unclassified residential street. The proposed Tentative Parcel Map would create four new parcels. Two Grading Exemptions are proposed in order to create the building pad and driveway for Parcel 4. The grading exemptions would be a 2:1 fill slope up to 30-feet high and a 2:1 cut slope up to 30-feet high on Parcel 4, where the Grading Ordinance limits fill slopes to a maximum height of 10-feet high within 50-feet of a property line and cut slopes to a maximum height of 20 feet within 50 feet of the property line. The subject site is located within a "high fire severity zone" which will require enhanced construction for all residences in accordance with an approved Fire Protection Plan. In, addition, fuel management areas would be established for each lot which will require the removal and thinning of sensitive vegetation on-site and off-site. Up to 0.50-acres of Diegan Coastal Sage Scrub would be removed from the site. However, the removal of sensitive habitat (0.50-acres) would be mitigated on-site by preserving 8.478-acres of unoccupied Diegan Coastal Sage Scrub within a conservation easement.

Staff feels that the Issues are as follows:

1. Appropriateness of the project design, grading, and whether the proposed subdivision would be compatible with the surrounding development.

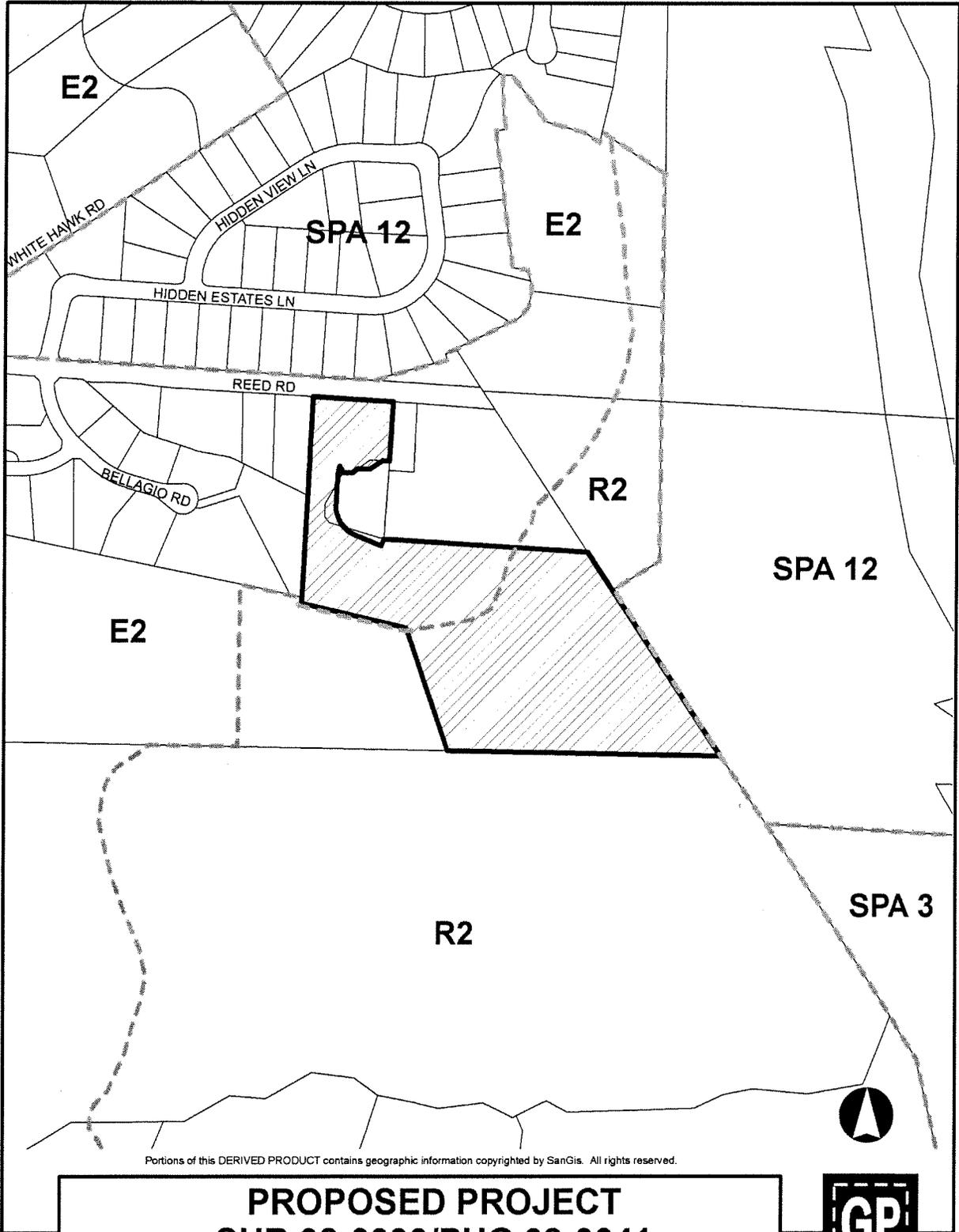
REASONS FOR STAFF RECOMMENDATION:

1. The proposed lot sizes would be in conformance with the General Plan Estate II (E2) land-use designation, and the lot configurations and proposed average lot widths of 200 feet for Parcel 4 would conform to the Hillside Ridgeline requirements for lots in proximity to intermediate ridgelines. Staff feels that the density, lot configurations, and lot sizes would be compatible with the surrounding area since the proposed lot sizes are generally larger than the residential lot sizes to the north and west and similar to the lot sizes to the east. Lot widths also would be much larger than the adjacent lots to the north and west, and there would be no impacts to the North County Cemetery located immediately to the south of the subject site.
2. Although Grading Exemptions are proposed for fill and cut slopes up to approximately 30+ feet in height, staff feels the grading design would not result in any significant visual or compatibility impacts to adjacent properties based on the topographical constraints of the site; similar hillside topography and grading surrounding the site; orientation of the proposed lots and distance between any effected residences to the north, south and west; and relatively large size of the lots. The Grading Exemptions are requested in order to create build able pad areas in substantial conformance with the City's Hillside Ridgeline requirements. Adequate slope and building setbacks, perimeter landscaping, and preservation of perimeter natural vegetation areas are proposed to adequately mitigate any potential visual impacts, drainage, compatibility and sensitive habitat preservation issues.

Respectfully submitted



Darren Parker
Assistant Planner II

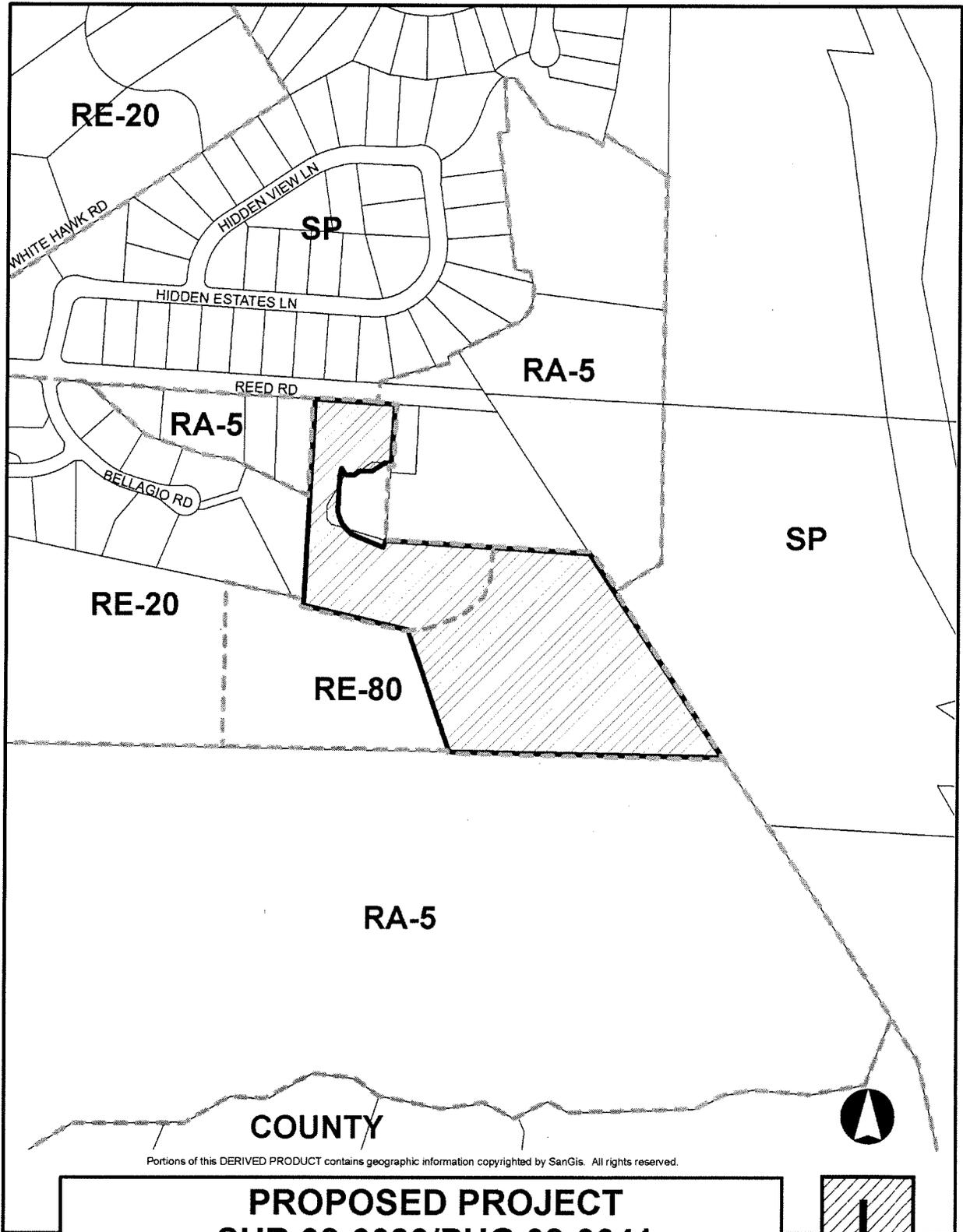


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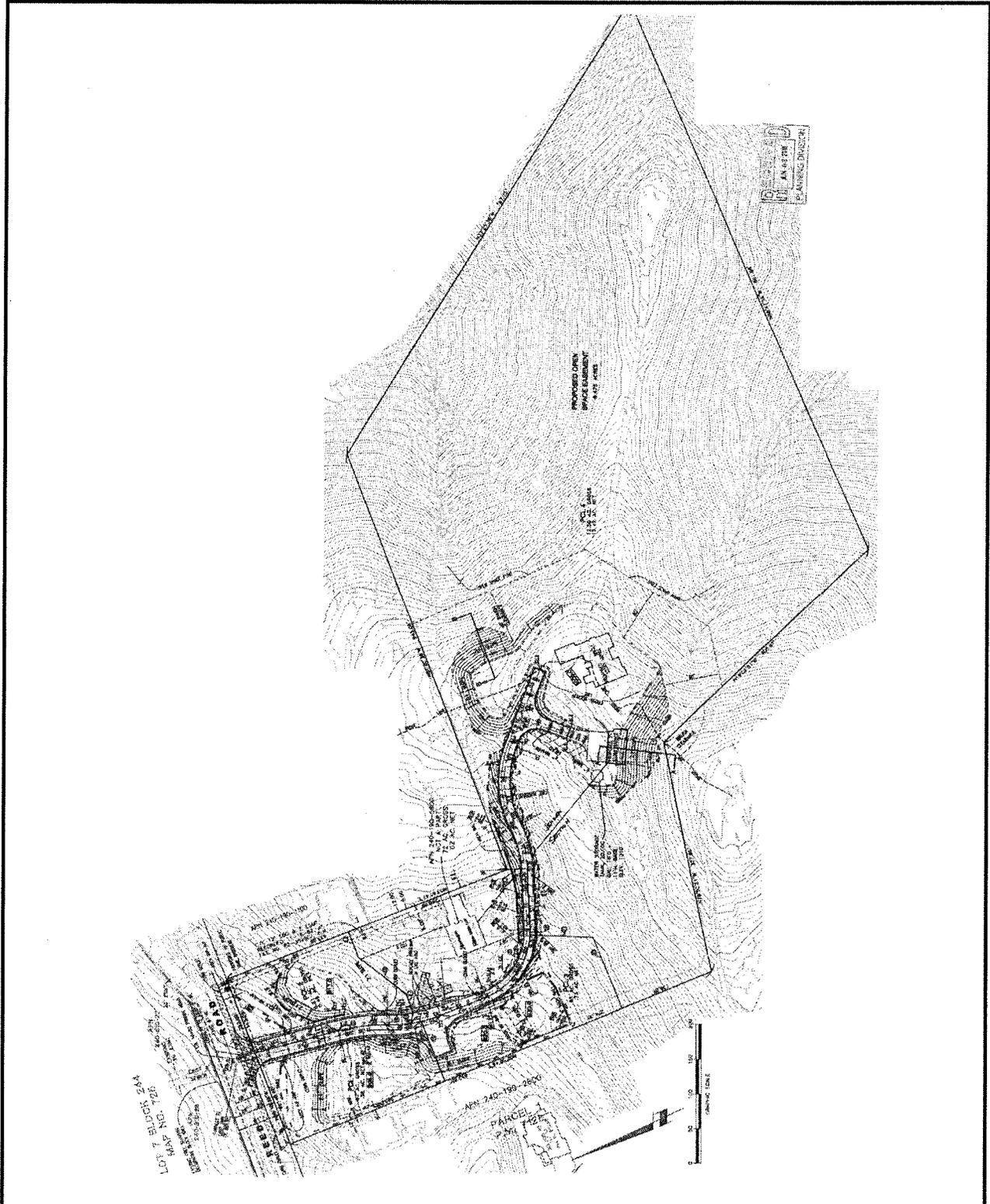
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GENERAL PLAN



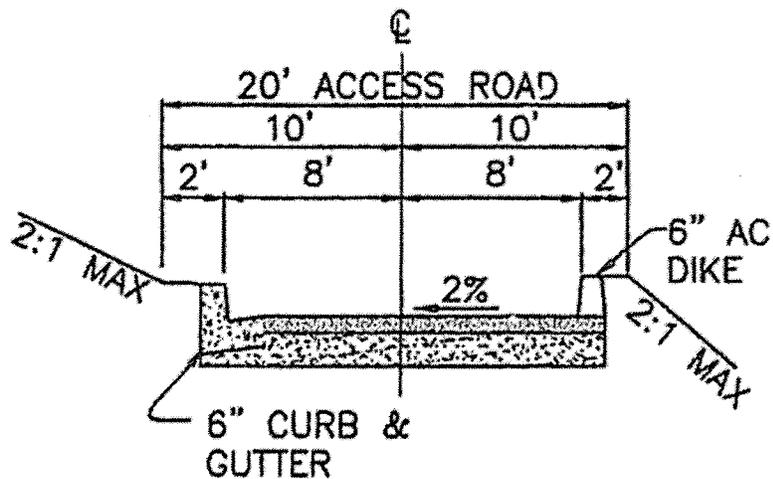
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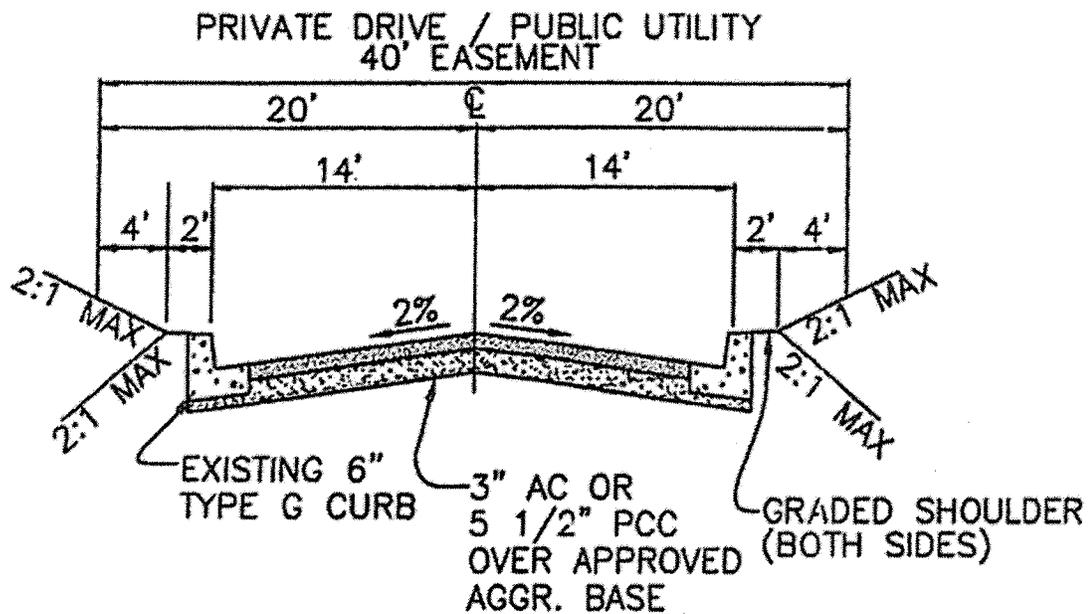
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TENTATIVE MAP

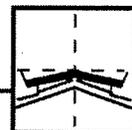


PRIVATE DRIVEWAY
PCL NO. 4
 NOT TO SCALE



PRIVATE ROAD/PUBLIC UTILITY EASEMENT
 NOT TO SCALE

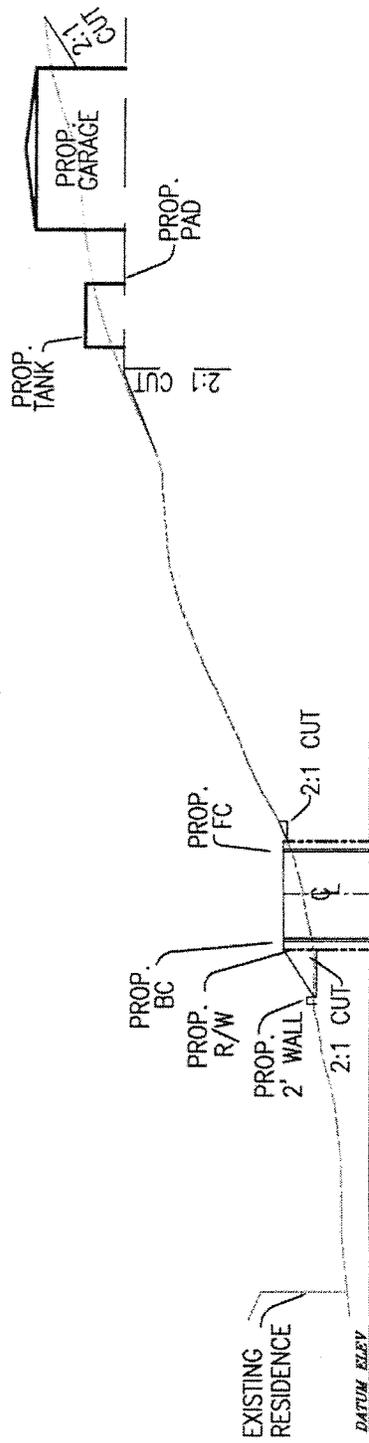
PROPOSED PROJECT
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STREET SECTION

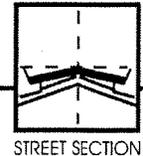
TPM 08 - 0030

JENSEN / WATER TANK SECTION



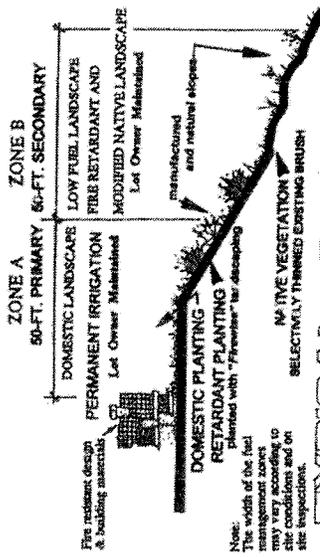
SCALES: HORIZ: 1"=50'
VERT: 1"=50'

PROPOSED PROJECT
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TYPICAL LANDSCAPE LEGEND

100' FIRE BUFFER: 100 FT. FUEL MODIFICATION ZONE



DOMESTIC PLANTING →
planted with "firewise" for landscaping

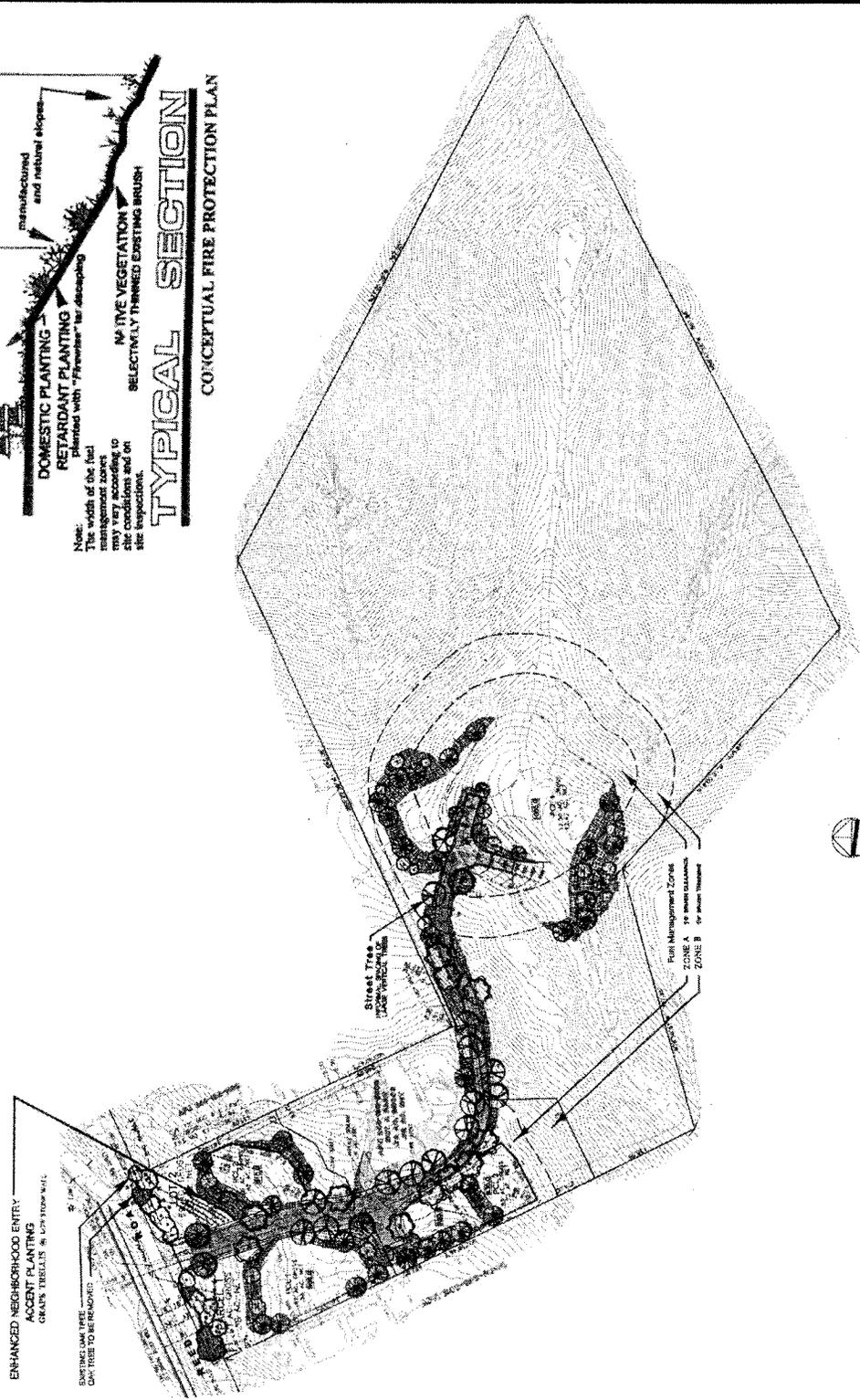
RETARDANT PLANTING →
planted with "firewise" for landscaping

NATIVE VEGETATION →
SELECTIVELY THINNED EXISTING BRUSH

Note: The width of the fuel management zones may vary according to site conditions and on site inspections.

TYPICAL SECTION

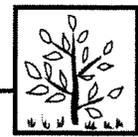
CONCEPTUAL FIRE PROTECTION PLAN



ENHANCED NEIGHBORHOOD ENTRY
ACCENT PLANTING
GRASS TRELLIS IN LOT FROM WEST

EXISTING TREE TO BE REMOVED

**PROPOSED PROJECT
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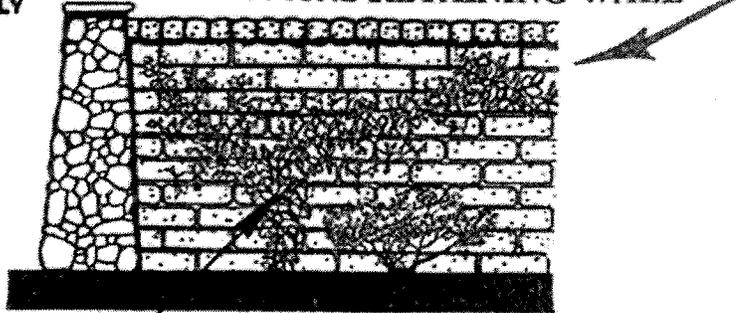


LANDSCAPE PLAN

TYPICAL WALLS AND FENCES

PILASTERS AT
CHANGE IN LINE
DIRECTION ONLY

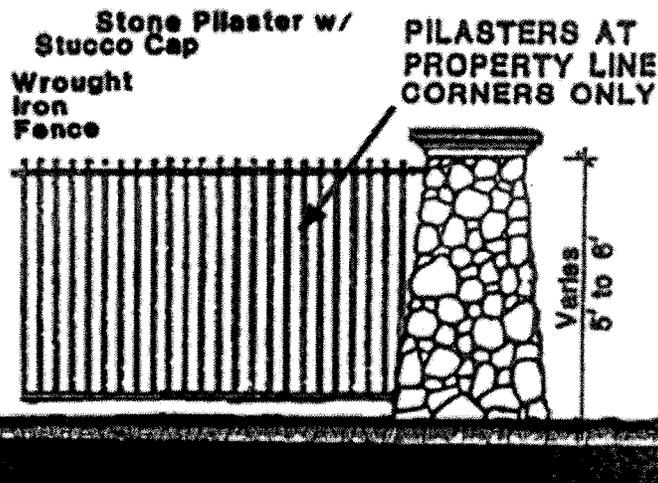
TYPICAL RETAINING WALL



TYPICAL WALL TREATMENT

DISTICTIS BUCCINATORIA BLOOD RED TRUMPET VINE
VINES PLANTED 10 FT. ON CENTER AT BASE OF WALL

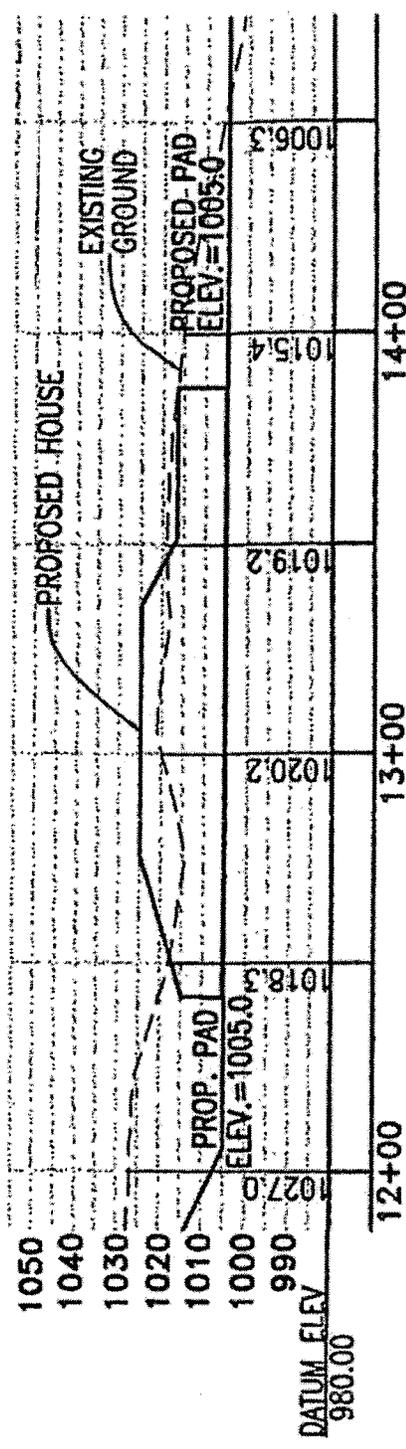
SLUMP BLOCK WALL WITH PILASTER



6' HIGH WROUGHT IRON FENCE WITH PILASTER

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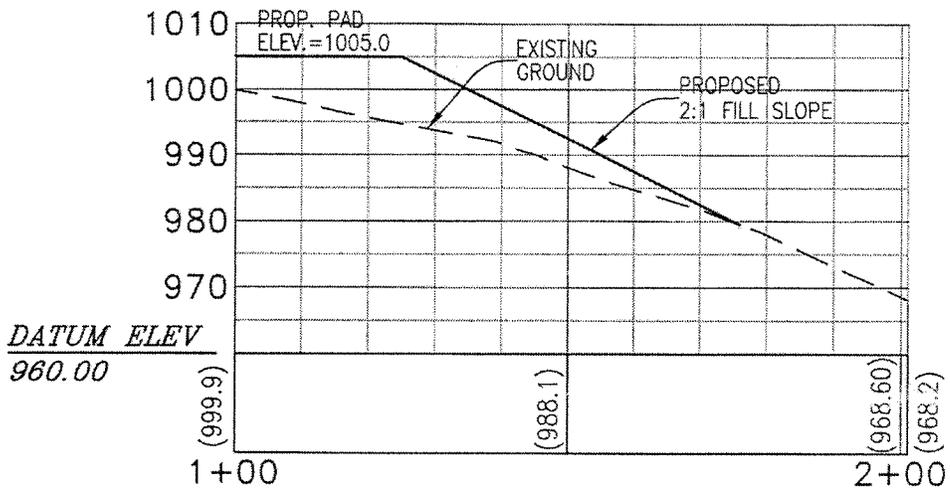
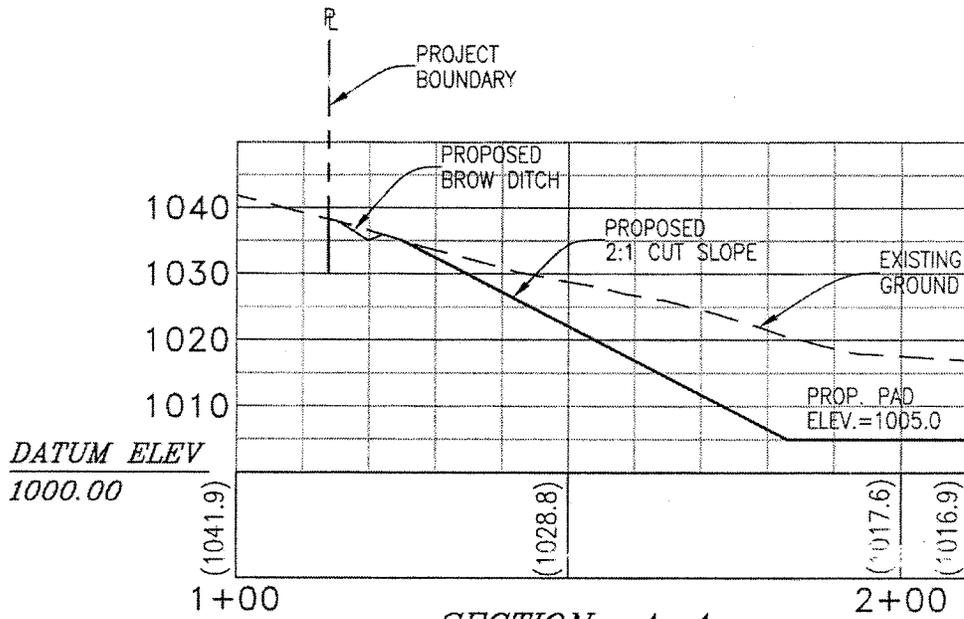
DETAILS



SECTION - HOUSE SCALES: HORIZ. 1"=50' VERT. 1'=50'

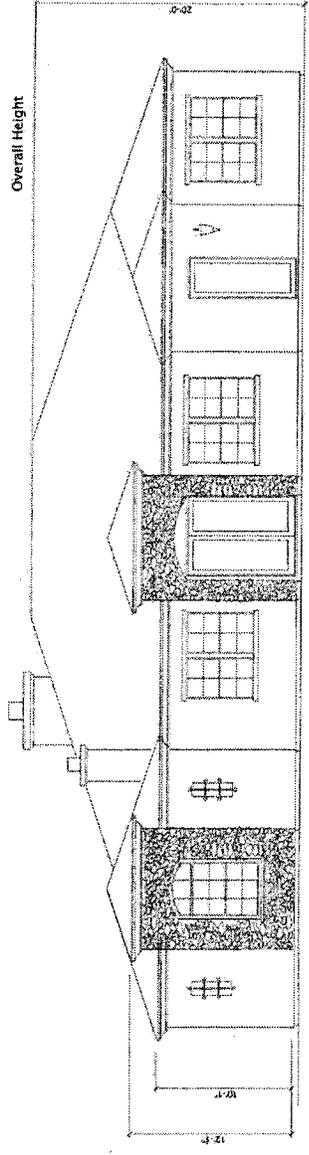
PROPOSED PROJECT
SUB 08-0030/PHG 08-0041

SECTION

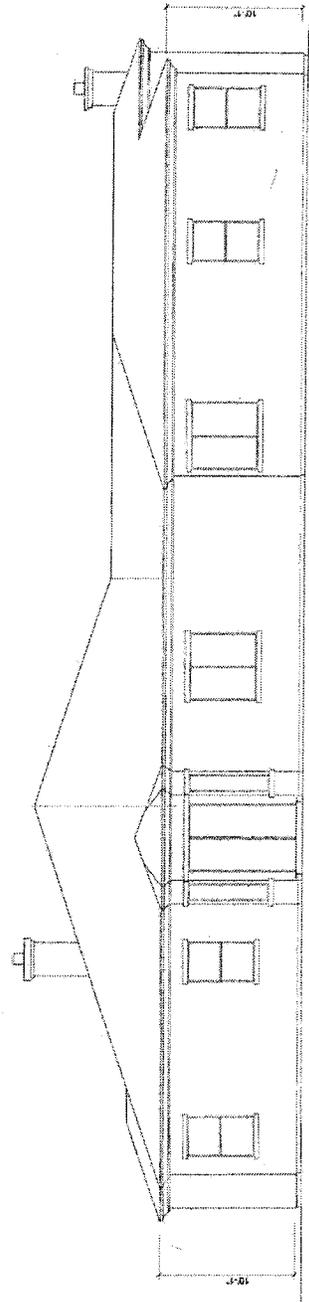


**PROPOSED PROJECT
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SECTION



North Elevation

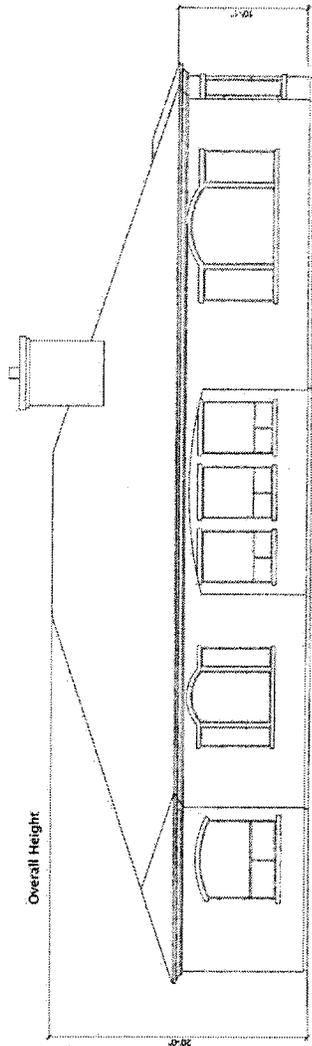


East Elevation

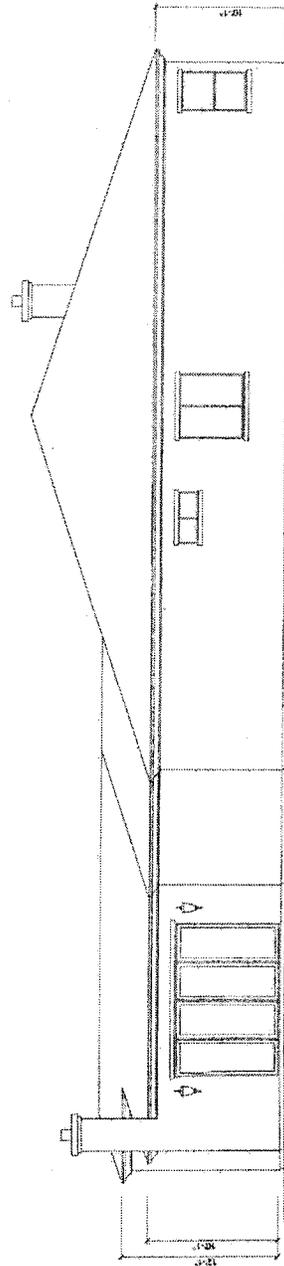
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ELEVATIONS



South Elevation

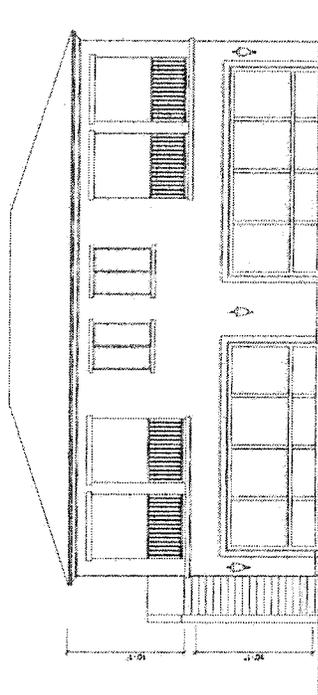


West Elevation

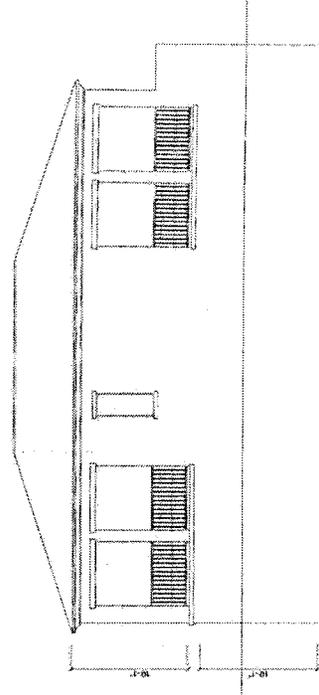
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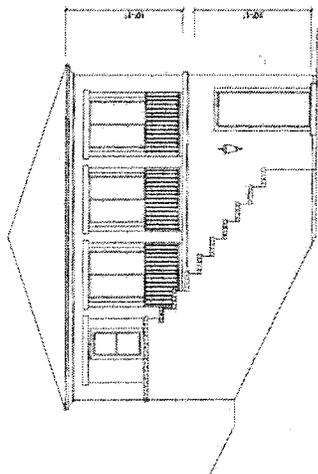
ELEVATIONS



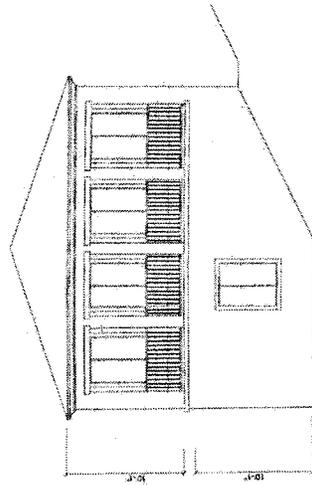
East Elevation



West Elevation

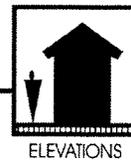


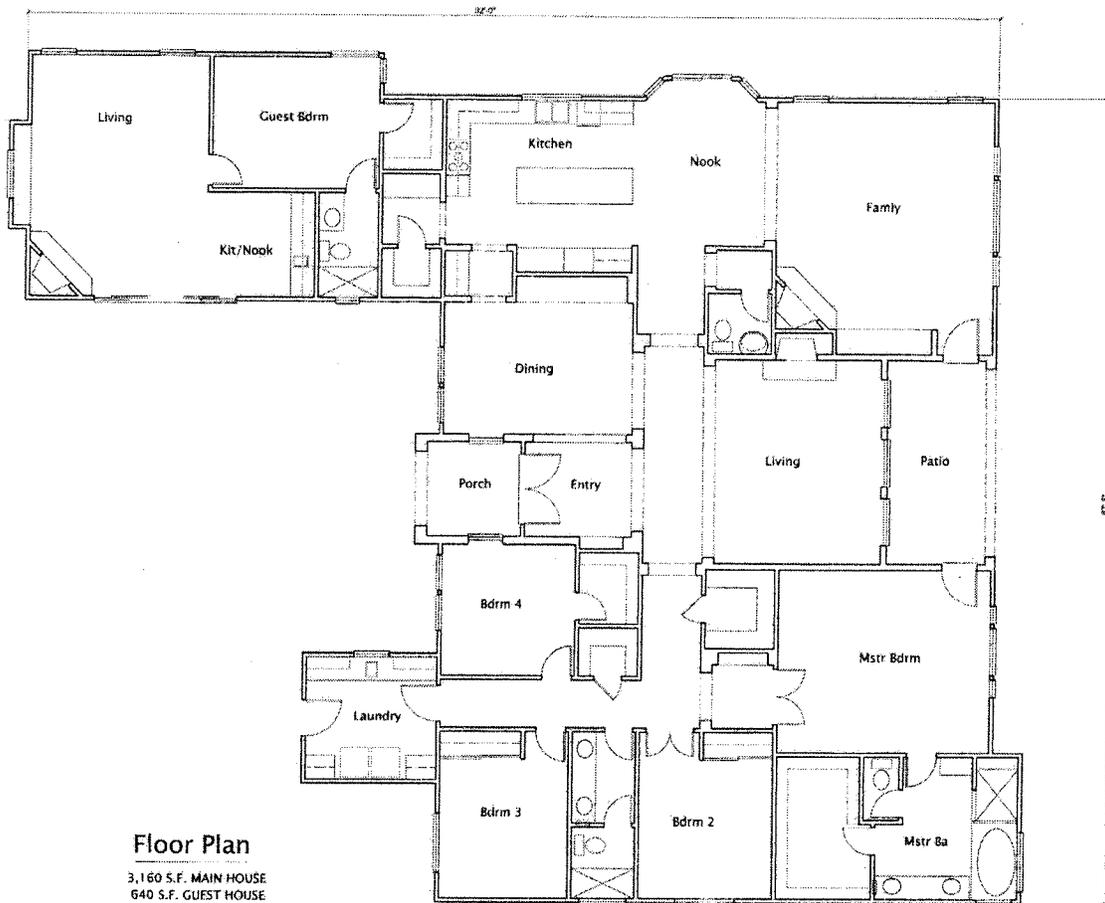
South Elevation



North Elevation

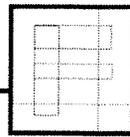
**PROPOSED SUBDIVISION
SUB 08-0030**



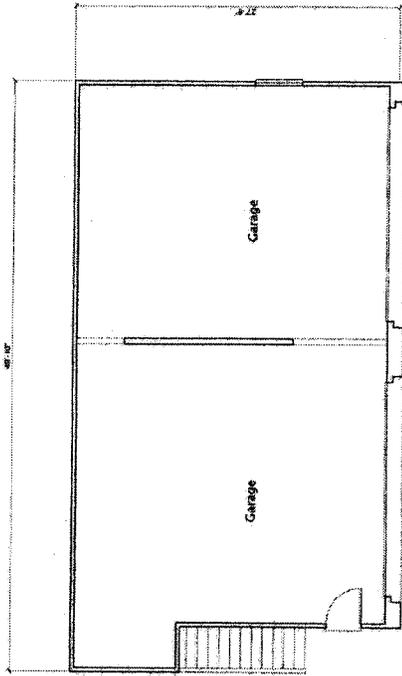


Floor Plan
 3,160 S.F. MAIN HOUSE
 640 S.F. GUEST HOUSE

**PROPOSED SUBDIVISION
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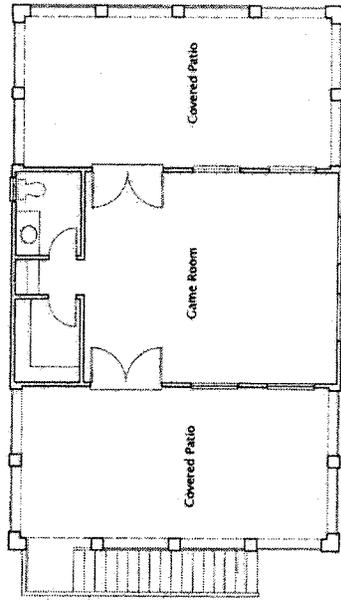


FLOOR PLAN



First Floor Plan

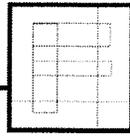
1,262 S.F. GARAGE



Second Floor Plan

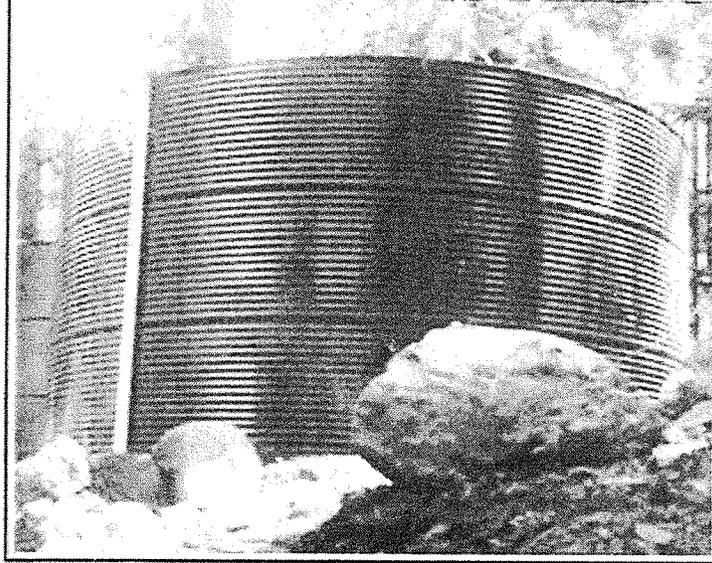
518 S.F. GAME ROOM
800 S.F. COVERED PATIO

**PROPOSED SUBDIVISION
SUB 08-0030**



FLOOR PLAN

Water Storage Tank



ANALYSIS

A. LAND USE COMPATIBILITY/SURROUNDING ZONING

North: SP zone (Specific Planning Area) immediately to the north of the subject site across Reed Road is an existing single-family housing development, consisting of smaller sized lots approximately 20,400 SF+/-.

South: RA-5 zone (Residential Agricultural, 5-acre minimum lot size) immediately to the south and southwest of the subject site is an existing cemetery (North County Cemetery). The cemetery is at a lower elevation than the subject site, approximately 100 feet.

East: RA-5 zone (Residential Agricultural, 5-acre minimum lot size) directly to the east of the subject site is a single-family residence on a 4.45-acre parcel at a lower elevation than the subject site. Beyond the RA-5 zone is a larger undeveloped parcel approximately 28.7-acres in size with an existing avocado grove zoned SP (Specific Planning Area).

West RE-20 zone (Residential Estates, 20,000 SF minimum lot size) directly to the west of the subject site are several existing single-family residences on 1+acre lots. The majority of the subject site, parcel 1, 2 and 3, will be at the same elevation as the adjacent property, parcel 4 will be located at a higher elevation, approximately 70 feet higher.

B. AVAILABILITY OF PUBLIC SERVICES

1. **Effect on Polices Service** –The Police Department has expressed no concern since the project will not have an impact on their ability to provide services to the subject site.
2. **Effect on Fire Service** — The Fire Department has expressed no concerns relatively to its ability to provide services to the site. The site will be served by Fire Station No 2, located at 421 N. Midway and within the five minute response time mandated by the City's General Plan. The project would be required to incorporate fuel modification/management zones; fire resistant planting materials; and low combustible building materials pursuant to the recommendations of the Fire Department and the Fire Protection Plan dated May 5, 2009 to ensure adequate safety is achieved. In addition, a 20,000 gallon water tank shall be required for parcel 4 that will be supplied with water from the East Grove Reservoir. A pumping system will boost the pressure at the outlet point of the tank to accomplish adequate pressure (20 pounds per square inch) for fire protection.
3. **Traffic** – There will be no project impacts to the circulation system that would result in degradation of the existing Level of Service for this area. The proposed project will take access off of Reed Road which is classified as a Local Collector Street with a 66-foot right of way. A private street will be constructed off of Reed Road for parcels 1, 2 and 3 and private driveway shall be provided for Parcel 4 in conformance with the city's design standards. Based on SANDAG trip generation rates for the San Diego Region, the proposed development of four (4) additional residential lots is anticipated to generate 10 trips per dwelling unit, or up to 40 Average Daily trips (ADT). The Engineering Department has indicated that this project would not materially degrade the levels of service on the adjacent street or intersections.
4. **Utilities** – Adequate public facilities are available and City water and sewer services are existing and available to the entire site with minor extensions. The Engineering Department has indicated that water and sewer service is available to the entire site with nominal extension of nearby facilities.
5. **Drainage** – There are no significant drainage courses within or adjoining the property. The project is conditioned to provide a drainage study to the satisfaction of the City Engineer, which would determine the extent of drainage facilities required to control runoff. Runoff from the project would be directed to the adjoining public street or other appropriate drainage facilities. This project does not materially degrade the levels of service of the existing drainage facilities.

C. ENVIRONMENTAL STATUS

1. A Mitigated Negative Declaration was issued for the proposed project on March 23, 2010. The findings of the analysis identified sensitive habitat and adequate water pressure impacts as potentially significant, but mitigation measures (included in the Conditions of Approval) would reduce these impacts to a less than significant level.
2. In staff's opinion, no significant issues remain unresolved through compliance with mitigation measures, project design, code requirements and the recommended conditions of approval.
3. The project will have no impact to fish and wildlife resources and the impact to the sensitive habitat (removal of 0.50-acres of Diegan Coastal Sage Scrub) shall be mitigated for on site.

D. CONFORMANCE WITH CITY POLICY

General Plan:

The subject site is zoned RE-20 (Residential Estates, 20,000 SF minimum lot size) and RE-80 (Residential Estates, 80,000 SF minimum lot size) which are consistent with the General Plan Land Use designation of Estate II (E2). The proposed lot sizes of 25,264 SF (Parcel 1), 21,344 SF (Parcel 2), and 31,759 SF (Parcel 3) are consistent with the minimum 20,000 SF lot size required by the Estate II (E2) General Plan land use designation and the RE-20 zoning. Parcel 4 is split zoned RE-20 and RE-80, due to slopes over 35% and sensitive habitat. However, the proposed lot area of 541,015 SF meets the more restrictive RE-80 minimum lot size. The General Plan designation of Estate II (E2) permits up to 2 du/acre dependent on slope. The subject site is relatively flat adjacent to Reed Road (Parcel 1 & 2) and gets steeper south on the subject site (Parcel 3 & 4). The maximum yield allowed for this 14.37-acre site is 8.22 units based on the slope categories present on site. The four (4) proposed lots result in a density for this project of 0.27 du/acre. The project meets the General Plan and Zoning criteria since the zoning and lot sizes are consistent with the General Plan. The project also addresses the General Plan Ridgeline/Hillside Policy D1.3 (page V-18) which states that Intermediate Ridges and Hilltops shall be preserved in a natural state to the maximum extent possible.

Whether the Project Design and Grading Exemptions would be Compatible with the Surrounding Neighborhood

Hillside Ridgeline Conformance- The subject property is located on the top and sides of an identified Intermediate Ridgeline that is depicted on the City's Hillside and Ridgeline Map. This is an undeveloped remnant portion of the ridgeline since residential development has occurred on the ridgeline to the north within the county and to the south within the City of Escondido prior to the adoption of the Hillside Ridgeline Ordinance. Primary views of the project site and ridgeline are from adjacent residential properties to the west and northwest, the east, and residential properties located further northeast and southeast. General Plan Ridgeline/Hillside Policy D1.3 (page V-18) states that intermediate ridges and hilltops shall be preserved in a natural state to the maximum extent possible. The Escondido Zoning Code (Grading Ordinance) recommends avoiding development in proximity to intermediate ridgelines, but provides design guidelines for development on intermediate ridgelines such as increasing the lot widths from the minimum RE-20 requirements of 100 feet to 200 feet; restricting buildings or structures in proximity to an intermediate ridge to be located and designed to minimize its impact upon the ridgeline; only single-story structures or portions of multiple single-story-stepped structures designed to conform to the site shall be permitted to project above the ridgeline; and landscaping should be utilized to recreate the linear silhouette and to act as a backdrop for structures. The project has been designed and/or conditioned to conform to these requirements. The project is in conformance with the Hillside Ridgeline provisions since Parcel 4 is the only parcel adjacent to the ridgeline that needs to conform to the 200 foot lot width requirement. The other 3 building pads are situated below the ridgeline; grading of the ridgeline is limited to development of the driveway, turnaround and building pad area; and the project has been conditioned to restrict the development of Parcel 4 to a single-story residence.

Grading Design and Exemptions- In order to create build able pads with adequate sizes to accommodate single-family residences and garages, the applicant is proposing a grading design with 18,500 cubic yards (CY) of cut and 4,700 cubic yards of fill, with a total export of approximately 13,800 CY. The majority of the site is within the 25-35% slope category which will be preserved on site within a conservation easement. The site is relatively flat adjacent to Reed Road (Parcel 1 & 2) and gets steeper south on the subject site (Parcel 3 & 4). The conceptual grading proposed for parcels 1-3 is consistent with the Grading Ordinance. The conceptual grading for Parcel 4 proposes two grading exemptions with one 30' high fill slope in excess of 10 feet in height and within 50 feet of the property line, and one 30' high cut slope in excess of 20 feet high and within 50 feet of the property line. The proposed height of the fill and cut slopes for parcel 4 are necessary to provide a build able pad area, and driveway.

The proposed grading exemptions would not have any significant visual impact or damage any hillside or ridgeline. The 30' fill slope would be located to the east of the building pad area for parcel 4 and would be screened by the existing avocado groves. The 30' cut slope would be located to the west of the building pad area for parcel 4 and would be fully landscaped in accordance with the city's landscape ordinance for slope planting and in accordance with the approved fire protection plan. The proposed manufactured slopes would not block adjacent views due to the orientation of the slopes and the topography of the area and that the site is higher than the adjacent properties and the sliver fill slope would be 25+' from the property line. Appropriate slope landscaping also would be provided to screen and soften visual effects of the manufactured slopes as well as views from surrounding properties. Any grading and subsequent compaction of the site, as necessary, would be per City standards to the satisfaction of the City Engineer. All future grading or compaction of the site would be reviewed to ensure that it's consistent with the grading ordinance and City standards to the satisfaction of the City Engineer.

Staff supports the proposed grading design, since the proposed 30-foot high fill slope would be approximately 200+ feet away from the nearest residence and that the cut slope would be 200'+ away from the nearest residence to the south. In addition, all manufactured slopes would be landscaped, with trees, shrubs and groundcover, as required in the Landscape Ordinance and in accordance with approved Fire Protection Plan. The landscaping of the manufactured slopes would help soften the appearance of the proposed fill and cut slopes

Habitat Preservation- A biological survey was prepared for the project by Vincent N. Scheidt, and indicted that the property supports three vegetation communities; disturbed vegetation, agriculture (avocado groves) and unoccupied Diegan Coastal Sage Scrub. The report also stated there were no sensitive plants or animals detected during the survey. The project requires the removal of 0.50-acres of unoccupied Diegan Coastal Sage Scrub for the development of the pad and fuel management area for Parcel 4. The biologist determined the quality of the Coastal Sage Scrub present as "High Quality" which would require the habitat to be preserved or mitigated. The owner proposes to preserve 8.478-acres of Diegan Coastal Sage Scrub over the remaining portion of parcel 4 through a conservation easement, which would mitigate for the small loss of habitat (0.50-acres). In addition, the project is in conformance with the draft MHCP (Multiple Habitat Conservation Plan) which requires 75% preservation of sensitive habitat in this area, as the project would preserve 8.478-acres (or 95% being preserved) on site.

Proposed Water Tank Storage- Parcel 4 is the largest parcel and located on top of the ridge at an elevation of 1005 feet surrounded by an existing avocado orchard to the west and north. An existing cemetery is located directly to the south of the subject site. According to the fire department, the subject site is located within a High Severity Fire Zone that would require the clearing and thinning of vegetation around the residence (all of which is outlined in the Fire Protection Plan) and adequate water pressure to serve the residence. Adequate water pressure for fire protection for parcel 4 cannot be achieved without the installation of a booster system and a 20,000 gallon private water tank, due to the elevation of the pad. The proposed 20,000 gallon private water tank would be supplied with water from the East Grove Reservoir, a pumping system would boost the pressure at the outlet point of the water tank to accomplish adequate pressure (20 ponds per square inch) for fire protection. Domestic water use and fire sprinklers would be supplied through a second pumping system placed on the side of the private water meter. The 11' tall water tank would be tucked into the 30' high cut slope, which would help screen the tank from adjacent views to the east and south. The tank would be approximately 300' + away from the nearest residence to the north which is at a lower elevation than the subject site. The tank would be conditioned to be painted a natural color to help blend with the topography and additional landscaping around the front of tank would be required.

SUPPLEMENT TO STAFF REPORT/DETAILS OF REQUEST

A. PHYSICAL CHARACTERISTICS:

The subject site is relatively flat adjacent to Reed Road (Parcel 1 & 2) and gets steeper south on the subject site (Parcel 3 & 4) with slopes over 35% and sensitive habitat. The site is 14.37-acres in size and covered with native vegetation and avocado groves. A portion of the site is situated along a knoll/ridge with an elevation of 1005 feet extending through the southern portion of the site in a north-south direction.

B. SUPPLEMENT DETAILS OF REQUEST:

	<u>Proposed Project</u>	<u>RE-20/RE-80/Estate II Standards</u>
1. Property Size:	14.37-acre	N/A
2. No. of lots:	4	Maximum yield 8.22 lots per slope categories
3. Grading Quantities:	18,500 cubic yards of cut material 4,700 cubic yards of fill material Total of approximately 13,800 cubic yards of export	
4. Landscaping	All landscaping will comply with the City's Landscape Ordinance requirements and the approved Fire Protection Plan requirements including street trees, slope planting and erosion control. Agricultural groves/trees are exempt from the replacement requirements.	

C. CODE COMPLIANCE ANALYSIS:

	<u>Proposed</u>	<u>Required</u>
1. Density:	0.27 du/acre	Up to 2 du/acre permitted dependent of slope
2. Required setbacks for future Development		Front: 15' Side: 10' Rear 20'
3. Parking:	All lots with no frontage on a public road would be conditioned to provide 4 guest spaces on the lot in addition to the 2 covered spaces required	
4. Lot Size:	Parcel 1: Net 25,264 SF Parcel 2: Net 21,344 SF Parcel 3: Net 31,759 SF Parcel 4: Net 541,015 SF	20,000 SF minimum lot size 80,000 SF minimum lot size

5. Lot Width:	200' avg.	Min. 100' avg. Lots adjacent to ridge 200' avg.
6. Lot Frontage	Ranges from 35' to 80'+	Each lot shall abut a public street for a minimum of 35 feet
7. Grading Exemptions:		
Slope A:	Up to 30-feet high Fill 10+ from the PL	Fill slopes up to 10-feet high max. within 50 feet of a property line.
Slope B:	Up to 30' High cut slope 25' from the PL	Cut slopes up to 20-feet high max. within 50 feet of a property line.
8. Slope Inclinations	All slopes at 2:1	2:1

D. GENERAL PLAN COMPLIANCE

1. General Plan:

- a. Land Use Element Designation: The General Plan land use designation is Estate II which permits up to 2 du/ac dependant on slopes.
- b. Circulation Element: The project site fronts onto Reed Road, which is classified as a Local Collector Street (66' R-O-W). A private street will be constructed off of Reed Road for parcel 1, 2 and 3 and a private driveway shall be extended from the end of the road for parcel 4. All internal streets would be constructed to City Standards.
- c. Noise Element: The site is located within a 60 db contour area. The future construction must comply with the City of Escondido Noise Ordinance (Ord. 90-6) which requires interior noise levels not to exceed 45db.
- d. Ridgeline/Hillside: The project is located on an Intermediate Ridgeline.
- e. Trails: The City's Master Plan for Parks, Trails and Open Space requires that a 10' wide Spur Trail be provided along the frontage of the property adjacent to Reed Road.

**FINDINGS OF FACT
SUB08-0030 &PHG08-0041
EXHIBIT "A"**

Tentative Parcel Map

1. The General Plan land-use designation for the project site is Estate II (up to two single-family dwelling units per acre) with a minimum lot size of 20,000 SF. The project is consistent with General Plan land use designation, which anticipates single-family residential estate development on the project site. The proposed subdivision would be consistent with the General Plan density provisions since the density of the project would be approximately 0.27 du/ac. Four lots also would be consistent with the allowable yield for the project site, which would allow up to 8 lots based on the slope analysis prepared for the project.
2. The design and improvement of the proposed 4-lot parcel map with 20,000+ SF lot sizes are consistent with the Estate II (E2) General Plan designation which requires a minimum lot size of 20,000 SF.
3. The site is moderately sloped, but suitable for this residential type of development. The site is zoned for single-family development, and is bordered by residential development of similar zoning and sizes. The proposed Grading exemptions on the site would not have a negative impact on adjacent properties, and all access and utilities are available to the site.
4. The site is physically suitable for the proposed density of development since the project is infill development surrounded by development of similar density, and adequate building pads can be provided without negative impact to the surrounding properties.
5. The design of the parcel map and proposed improvements are not likely to cause serious public health problems since all vehicular traffic generated by the project would not materially degrade the level of service on the adjoining streets or intersections and adequate sewer and water services would be provided to all parcels by nominal extensions of services in Reed Road.
6. The design of the parcel map and proposed improvements are not likely to cause substantial environmental damage or substantially and unavoidably injure fish, wildlife, or their habitat since no stream course or endangered wildlife exists on the property. The loss of 0.50 acres of sensitive habitat would be mitigated for on site through the preservation of 8.478 acres of Diegan Coastal Sage Scrub within a conservation easement.
7. The design of the map and the type of improvements would not conflict with easements of record, or easements established through court judgments, or acquired by the population at large, for access through, or use of property within the proposed map. This was determined based on review of all available maps and a preliminary title report submitted by the applicant. Neither the City nor its employees assume any responsibility for the completeness or accuracy of these documents.
8. All of the requirements of the California Environmental Quality Act (CEQA) have been met and a Mitigated Negative Declaration was issued for the proposed project on March 23, 2010. The findings of the analysis identified impacts that might potentially be significant, but mitigation measures would reduce these impacts to a less than significant level. The mitigation measures have been included in the Conditions of Approval.
9. The design of the Tentative Parcel Map has provided to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision. Lot sizes and subdivision configuration provide opportunities for passive/solar heating. Landscaping would provide passive cooling opportunities via shading each unit.

10. All permits and approvals applicable to the proposed map pursuant to the Escondido Zoning Code will be obtained prior to the recordation of the map.

Grading Exemptions

1. Granting the Grading Exemption is consistent with the Grading Design Guidelines for the following reasons:
 - a. The proposed cut/fill slopes up to 30-feet-high with inclinations of 2:1 would not create a negative visual impact upon neighboring properties as over-viewing would not be created. The proposed fill slope also would not block views from surrounding properties since there are limited existing view opportunities through the site and the site is higher than the adjacent properties and the sliver fill slope would be 25+ from the property line. The slopes would be screened from view by the proposed residences and existing avocado groves and would be fully landscaped, meeting the City's Landscape Ordinance Standards and the approved Fire Protection Plan.
 - b. The proposed fill/cut slopes would not intrude into or disturb the use of any adjacent property since it would not adversely block the primary view of any adjacent parcels, disturb any utilities or drainage facilities, obstruct circulation patterns or access, nor preclude the development of adjacent parcels.
 - c. The proposed design of the fill/cut slopes would not adversely affect any adjoining septic systems since the slopes are within a development that will be provided with sewer service, and no grading would occur adjacent to properties with septic systems.
2. Prior to grading permit issuance, the design of the slopes would be engineered to ensure the stability of the cuts and fills, and associated buildings placed upon the new pad area.
3. The grading exemptions and retaining walls are requested to provide sufficient flat build able area to accommodate a single-family home, reduce driveway grades, provide access to selected lots, and/or provide usable open space areas around the proposed homes.
4. The grading has been designed to address on-site building constraints and has been minimized to the extent possible, preserving the character of the site while utilizing appropriate erosion control practices to avoid erosion, or flooding in order to have as minimal effect on the environment as possible.

EXHIBIT "B"
CONDITIONS OF APPROVAL
SUB08-0030 & PHG08-0041

General

1. Three (3) copies of a revised Tentative Parcel Map reflecting all modifications and changes required by this approval shall be submitted to the Planning Division for certification prior to approval of the Final Parcel Map.
2. All construction and grading shall comply with all applicable requirements of the Escondido Zoning Code and requirements of the Planning Department, Engineering Department, Building Department, and Fire Department.
3. The legal description attached to the application has been provided by the applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal descriptions.
4. Any blasting within the City of Escondido is subject to the provisions of Ordinance No. 95-6 and a Blasting Permit must be obtained from the Escondido Fire Department. If blasting occurs, verification of a San Diego County Explosive Permit and a policy or certification of public liability insurance shall be filed with the Fire Chief and City Engineer prior to any blasting within the City of Escondido.
5. Access for use of heavy fire fighting equipment, as required by the Fire Chief, shall be provided to the job site at the start of any construction and maintained until all construction is complete. Also, there shall be no stockpiling of combustible materials, and there shall be no foundation inspections given until on-site fire hydrants with adequate fire flow are in service to the satisfaction of the Fire Marshall.
6. All required landscape improvements shall be installed and all vegetation growing in an established, flourishing manner. The required landscape areas shall be free of all foreign matter, weeds and plant material not approved as part of the landscape plan.
7. All requirements of the Public Art Partnership Program, Ordinance No. 86-70, shall be satisfied prior to Building Permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program.
8. All exterior lighting shall conform to the requirements of Escondido Zoning Code Article 35, Outdoor Lighting.
9. Prior to or concurrent with the issuance of building permits, the appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Deputy City Manager and the Community Development Director.
10. All project generated noise shall conform to the City's Noise Ordinance (Ordinance 90-08), to the satisfaction of the Planning Division.
11. Prior to final map approval, a note shall be included on the Final Parcel Map, or other documents provided, stating that grading shall be in conformance to the submitted conceptual design.
12. Any parcels not associated with the Tentative Parcel Map shall be labeled "Not a Part."
13. No street names are part of this approval. A separate request shall be submitted prior to Final Map.

14. Prior to the issuance of grading permits and/or building plans, the applicant shall submit a final Fire Management Plan to Fire Department for review and approval. Any necessary measures/requirements of the plan shall be incorporated into the grading, landscape and building plans for the project.
15. The grading plans shall contain appropriate measures/instructions to protect the existing Diegan Coastal Sage Scrub vegetation (located on to the east of parcel 4) during grading and construction. Appropriate fencing and signage shall be provided around the native vegetation prior to grading or construction, and must be maintained in good order during all phases of construction. The Declaration of Restrictions shall contain appropriate language indicating the native vegetation within the designated conservation area is not to be removed; development and any access restrictions into the conservation area, and maintenance requirements/restrictions, as may be required/restricted by the Wildlife agencies.
16. All new utilities shall be underground.
17. The proposed "Water Storage Tank" shall be clearly labeled as "private" on all plans submitted for this project.
18. Grading exempted slopes shall not exceed the height approved by the Planning Commission and indicated in the Details of Request of the staff report, and on the certified tentative map.
19. Lots in proximity to the intermediate ridgeline are subject to the provisions of the Zoning Code Section 33-1067.F (d) "Intermediate Ridges" regarding the height and development of structures, as determined by and to the satisfaction of the Director of Community Development.
20. Development of Parcel 4 shall be restricted to only single-story structures, which shall be included in the deed restriction.
21. The height of the single-story residence on Parcel 4 (measured from the approved pad elevation to the ridgeline of the structure) shall not exceed 20 feet in height (excluding chimneys and other similar type of structures) in accordance with Escondido Zoning Code, Article Section 33-1067. Ancillary architectural features (such as turrets or vaulted entry features) may exceed the 20 feet in height provided they are in scale with the main building and not excessively tall or create adverse visual impacts to adjacent homes.
22. Building pads with steep or long driveways shall incorporate an appropriate on site turn around area to eliminate vehicles backing up or down long or steep driveways, to the satisfaction of the Engineering Division. Provisions for the turn around area shall be demonstrated on the fine grading plans. For turn around areas, a minimum 24-foot back up area should be provided for vehicles to exit the lot in a forward manner.
23. Each lot shall be required to provide covered parking for two cars to the satisfaction of the Planning Division. However, since no on-street guest parking would be provided for Parcel 4, sufficient on-site parking shall be provided to accommodate six vehicles. In order to accommodate on-site parking requirements, one of the following shall be provided:
 - a. A front yard setback of 40 feet shall be provided between the garage and the edge of the easement to provide for a driveway of sufficient length that can accommodate four cars in addition to a two-car garage, or
 - b. A three-car garage shall be provided in addition to a driveway of sufficient width and length to accommodate additional three cars outside of the easement, or
 - c. A circular driveway shall be provided of sufficient width and length to accommodate three or four cars depending on whether a two-or three-car garage is provided with the home.

The grading plan shall be designed with sufficient pad area to accommodate the required off-street parking. Conformance with this condition shall be demonstrated on the grading plan and plotting of the homes in conjunction with the submittal of building permits, to the satisfaction of the Planning Division and Engineering Division.

24. The 20,000 gallon water tank that is required for Parcel 4 shall be painted a natural color and details of the tank and color shall be provided on the final grading, building and landscape plans to the satisfaction of the Planning Division.
25. The Tentative Parcel map shall expire after thirty-six months (36) if the final map is not recorded or an extension of time application is not granted.
26. A copy of the conservation easement language shall be provided for the City to review and approve prior to issuance of grading and/or building permit. The proposed conservation easement shall be provided over the remaining 8.478-acres of unoccupied Diegan Coastal Sage Scrub on Parcel 4. The conservation easement shall be recorded prior to building occupancy.
27. Prior to the removal of any CSS habitat, the applicant shall submit an erosion control plan to the satisfaction of the Engineering Department. Erosion control, including riprap, interim slope plantings, sandbags, or other erosion control measures shall be provided to control sediment and silt from the project. The developer shall be responsible for maintaining all erosion control facilities throughout the development of the project.
28. The grading and final landscape plans shall clearly indicate acreage and location of all CSS to be removed and to remain on site.
29. The final grading plan shall depict the required 100-foot fuel modification zone. Should the fuel modification zone be reduced to less than 100 feet, the project shall incorporate appropriate construction measures including but not limited to, protected eaves, limited openings, sprinklers, landscaping, and any other measures as determined to be appropriate by the Fire Department.
30. The City of Escondido hereby notifies the applicant that State Law (AB 3158) effective January 1, 1991, requires certain projects to pay user fees for the purpose of funding the California Department of Fish and Game. These fees were reinstated January 31, 1996, by the State Superior Court in Sacramento. In order to comply with state law, the applicant should remit to the City of Escondido Planning Division, within two (2) working days of the effective date of this approval (the "effective date" being the end of the appeal period, if applicable), a check payable to "County Clerk", in the amount of \$1,850.00 for a project with a Negative Declaration. These fees may be waived for projects which are found by the California Department of Fish and Game to have no effect on fish and wildlife resources. Commencing January 1, 2007, the State Clearinghouse and/or County Clerk will not accept or post a Notice of Determination filed by a lead agency unless it is accompanied by one of the following: 1) a check with the correct Fish and Game filling fee payment. 2) A receipt or other proof of payment showing previous payment of the filling fee for the same project, or 3) a completed form from the Department of Fish and game documenting the Department's determination that the project will have no effect on fish and wildlife. If the required filling fee is not paid for a project, the project will not be operative, vested or final and any local permits issued for the project will be invalid. (Section 711.4(c) (3) of the Fish and Game Code).
31. The following exemptions from the City of Escondido Grading Ordinance are permitted in conjunction with the development of the project.

Slope #A (Parcel 4, facing south) 2:1 fill slope up to 30-feet in height.
Slope #B (Parcel 4, facing north) 2:1 cut slope up to 30-feet in height

All other slopes within the proposed development shall be consistent with the Grading Ordinance standards and Landscape Ordinance.

Mitigation Measures-Conditions of Approval

32. To compensate for the loss of 0.50-acres of unoccupied Diegan Coastal Sage Scrub, the owner shall establish an open space conservation easement on site (Parcel 4) over the remaining 8.478-acres of Diegan Coastal Sage Scrub, as shown on the graph (figure 2) in the biological report prepared by Vincent N. Scheidt, Biological Consultant, dated July 16, 2009. The easement shall be shown and established on the final parcel map to the satisfaction of the Planning and Engineering Divisions prior to issuance of grading permits (Mitigation Measure).
33. Prior to issuance of grading permits, temporary protective fencing shall be installed around the conservation easement to prevent human and pet entrance, to the satisfaction of the Planning Division. The location and detail of the fence shall be shown on the final grading and landscaping plans to the satisfaction of the Planning Division (Mitigation Measure).
34. The clearing and grubbing of, and construction adjacent to, sensitive habitat shall occur outside of the gnatcatcher breeding season (February 15 to August 31). If the project construction, including clearing and grubbing of sensitive habitats is necessary on the project site or adjacent to sensitive habitat during the gnatcatcher breeding season, a qualified biologist shall demonstrate to the satisfaction of the Wildlife Agencies that all nesting is complete. The pre-construction survey shall begin not more than three (3) days prior to the beginning of construction activities (Mitigation Measure).
35. Protective barriers or fencing (temporary) shall be placed around the drip-line of any and all mature/protected trees that are designated to remain. The barricades or fencing are to remain in place until completion of all grading and construction and shall be shown on the final grading and landscape plans to the satisfaction of the Planning Division (Mitigation Measure).
36. Prior to issuance of grading permits, the location and details of permanent identification markers along the boundary of the conservation easement shall be shown on the final grading and landscape plans to the satisfaction of the Planning Division (Mitigation Measure).
37. Prior to final approval of the grading and removal of the temporary fencing, permanent identification markers shall be installed along the boundary between the development area and/or fuel management zones on Parcel 4 and the conservation area to delineate the edge of the conservation easement (Mitigation Measure).
38. To compensate for the loss of adequate water pressure to serve parcel 4, the owner shall construct a 20,000 gallon water tank (minimum 10,000 gal Fire suppression/10,000 gal irrigation) as shown on the fire exhibit map in the fire protection plan prepared by Mr. David C. Bacon, dated May 5, 2009. The proposed water tank shall be reviewed and approved by the City prior to issuance of grading permits (Mitigation Measure)

Landscaping:

1. Prior to occupancy of future units, all perimeter, slope and street landscaping shall be installed. All vegetation shall be maintained in a flourishing manner, and kept free of all foreign matter, weeds and plant materials not approved as part of the landscape plan.
2. Landscape and irrigation plan(s) and submittal package shall be submitted to Engineering Department concurrently with the grading plans. The required landscape and irrigation plan(s) shall comply with the provisions, requirements and standards outlined in Escondido Zoning Code Article 62. The plans shall

be prepared by, or under the supervision of a licensed design professional. Landscape plans shall be submitted to the engineering division and a plan check fee will be collected at the time of submittal.

3. All manufactured slopes, or slopes cleared of vegetation shall be landscaped within thirty (30) days of completion of rough grading. If, for whatever reason, it is not practical to install the permanent landscaping, then an interim landscaping solution may be acceptable. The type of plant material, irrigation and the method of application shall be to the satisfaction of the Planning Division and City Engineer.
4. The installation of the landscaping and irrigation shall be inspected by the project landscape architect/design professional upon completion. He/she shall complete a Certificate of Landscape Compliance certifying that the installation is in substantial compliance with the approved landscape and irrigation plans and City standards. The applicant shall submit the Certificate of Compliance to the Planning Department and request final inspection
5. A minimum of eight (8) street trees shall be required along Reed road; eight (8) street trees are required along the frontage of parcel 1; six (6) trees are required along the frontage of parcel 2; and nine (9) trees are required along the frontage of Parcel 3. The minimum tree size shall be 15-gallon in size; six-foot tall planted, and have a trunk caliper of at least two inches. The precise location and type of tree shall be consistent with City standards and the current street tree list. Existing trees may be counted as street trees if their variety, location, and size meet minimum requirements and they are identified on the landscape plan.
6. The retaining walls on Parcel 3 and along the driveway shall be constructed with a decorative block material, such as slump block or split-face block in a beige or tan color, or may be plantable and detailed on the final grading and landscape plans to the satisfaction of the Planning and Engineering Divisions.
7. Details of the project's fencing including materials and colors shall be provided on the final landscape plans to the satisfaction of the Planning and Engineering Division.
8. Additional landscaping shall be provided in front of the water tank (Facing North) to soften the appearance and shall be shown on the final landscape plans to the satisfaction of the Planning Division.
9. Any proposed walls, fire mitigation walls, and retaining walls shall be constructed out of decorative material to the satisfaction of the Planning Division. The materials and location of the wall(s) shall be identified on the grading plans, building plans and the final landscape plans to the satisfaction of the Planning Division.
10. Appropriate plant materials shall be incorporated into the final landscape design in order not to adversely affect existing views, but to provide privacy where required, to the satisfaction of the Planning Division.
11. Any existing trees to remain on site and any trees to be removed shall be identified on the final landscape and grading plans and to the satisfaction of the Planning Division.
12. All landscaping shall be permanently maintained in a flourishing manner. All irrigation shall be maintained in fully operational condition.

FIRE CONDITIONS:

1. All structures constructed on this project will be located per approved "Fire Protection Plan" and to the satisfaction of the Fire Marshall.

**Engineering Conditions of Approval
SUB08-0030-PHG08-0041
3200 Block of Reed Road**

GENERAL

1. The applicant shall provide the City Engineer with a Parcel Map Guarantee and Title Report covering subject property.
2. As surety for the construction of required off-site and/or on-site improvements, bonds and agreements in a form acceptable to the City Attorney shall be posted by the developer with the City of Escondido prior to the approval of this Subdivision.
3. No Building Permits shall be issued for any construction within this Subdivision until the Final Parcel Map is recorded and either:
 - a) All conditions of the Tentative Parcel Map have been fulfilled: or
 - b) Those conditions unfulfilled at the time of an application for Building Permits shall be secured and agreements executed in a form and manner satisfactory to the City Attorney and City Engineer.
4. All public improvements shall be constructed in a manner that does not damage existing public improvements. Any damage shall be determined by and corrected to the satisfaction of the City Engineer.

STREET IMPROVEMENTS AND TRAFFIC

1. Public street improvements shall be constructed to City Standards as required by the Subdivision Ordinance in effect at the time of the Tentative Map approval and to the satisfaction of the City Engineer. Specific details, including final street improvement widths, right-of-way widths, concrete curb and gutters, drainage, lighting, etc. shall be resolved to the satisfaction of the City Engineer.
2. The developer shall construct street improvements, including but not limited to, concrete curb, gutter, sidewalk, street lights, street trees, paving and base on the following streets within and adjoining the project boundary:

STREET

CLASSIFICATION

Reed Road

Residential (36' roadway within 56' right-of-way)

See appropriate typical sections in the current Escondido Design Standards for additional details.

3. The major access entrances shall be designed as street intersections with curb returns, cross gutters and spandrels, sidewalk ramps or with an alley type driveway, with a minimum throat width of 28 feet.
4. The address of each lot/dwelling unit shall either be painted on the curb or, where curbs are not available, posted in such a manner that the address is visible from the street. In both cases, the address shall be placed in a manner and location approved by the City Engineer.
5. Private road shown on the Tentative Parcel Map shall be improved to a minimum width of 28 feet (Reed Road to Parcel 3 turn around) with proper transition to a 16 foot wide drive to serve parcel 4.

The private access road shall be in conformance with the Design Standards. Plans for said road easement shall be submitted to and approved by the City Engineer prior to recordation of the Final Parcel Map.

6. Private road and storm water treatment facilities shall include provisions for maintenance by owners of appurtenant parcels. A Declaration of Restrictions shall be filed with the County Recorder prior to recordation of the final Parcel Map. A note to this effect along with the recording data of the Declaration of Restrictions shall be shown on the Final Parcel Map.
7. All on-site roads, driveways and parking areas shall be private. Typical sections and design details shall be to the satisfaction of the City Engineer.
8. Sidewalk along Reed Road shall be contiguous to the curb in accordance with current Escondido Design Standards.
9. A turnaround conforming to current Escondido Design Standards shall be constructed at the southerly end of parcel 3.
10. The developer will be required to provide a detailed detour and traffic control plan, for all construction within existing rights-of-way, to the satisfaction of the Traffic Engineer and the Field Engineer. This plan shall be approved prior the issuance of an Encroachment Permit for construction within the public right-of-way.
11. The developer's engineer shall prepare a complete signing and striping plan for all improved roadways. Any removal of existing striping and all new signing and striping shall be done by developer's contractor.
12. Adequate horizontal sight distance shall be provided at all street intersections. Increased parkway widths, open space easements, and restrictions on landscaping may be required at the discretion of the City Engineer.
13. The maximum grade of intersecting streets is 6% per the Escondido Design Standards.
14. The developer shall be required to construct a 135 watt street light in accordance with Escondido Standard Drawing No. 6 at the project entrance.

GRADING

1. A site grading and erosion control plan shall be approved by the Engineering Department. The first submittal of the grading plan shall be accompanied by 3 copies of the preliminary soils and geotechnical report. The soils engineer will be required to indicate in the soils report that he/she has reviewed the grading design and found it to be in conformance with his/her recommendations.
2. Erosion control, including riprap, interim slope planting, sandbags, or other erosion control measures shall be provided to control sediment and silt from the project. The developer shall be responsible for maintaining all erosion control facilities throughout the project.
3. The developer shall be responsible for the recycling of all excavated materials designated as Industrial Recyclables (soil, asphalt, sand, concrete, land clearing brush and rock) at a recycling center or other location(s) approved by the City Engineer.

4. A General Construction Activity Permit is required from the State Water Resources Board for all storm water discharges associated with a construction activity where clearing, grading and excavation results in a land disturbance of one or more acres.
5. All blasting operations performed in connection with the improvement of the project shall conform to the City of Escondido Blasting Operations Ordinance.
6. All existing foundations and structures, other than those designated "to remain" on the Tentative Map, shall be removed or demolished from the site.
7. All existing wells shall be abandoned and capped, and all existing septic tanks shall be pumped and backfilled, per the San Diego County Health Department Requirements.
8. The developer will be required to obtain permission from adjoining property owners for any off-site grading and slopes necessary to construct the project and/or the required improvements.
9. All driveway grades shall conform to current Escondido Design Standards and Escondido Standard Drawings.
10. All lot lines shall be located at the top of slope unless otherwise approved by the City Engineer.

DRAINAGE

1. Final on-site and off-site drainage improvements shall be determined to the satisfaction of the City Engineer and shall be based on a final drainage study and final water quality technical report in accordance with the latest adopted SUSMP, submitted at the time of final plan submittal, to be prepared by the engineer of work.
2. All on-site storm drains not in public easements are private. The responsibility for maintenance of these storm drains shall be that of the property owner's association. Provisions stating this shall be included in the CC&R'S.

WATER SUPPLY

1. Water supply for the project shall include construction of an 8 inch public water line in private access drive to the extent approved by the Utilities Director. A fire hydrant shall be installed at the end of the public water line to the satisfaction of the Utilities Director.
2. A private water tank and pumping system in accordance with the County standards and to the satisfaction of the Fire Marshall and Utilities Director shall be constructed to provide water service for fire protection to parcel 4. Public water line shall provide service for domestic use and building sprinklers through a minimum 1 inch water meter with booster pump and backflow device.
3. Fire hydrants together with an adequate water supply shall be installed at locations approved by the Fire Marshal.

SEWER

1. All sewer main locations shall be to the satisfaction of the City Engineer. Required sewer main improvements for the project include construction of an 8 inch sewer main in private access drive to the satisfaction of the Utilities Director.

2. Sewer utilities shall be extended to the project's easterly boundary at such locations as required by the Utilities Director.

FINAL PARCEL MAP - EASEMENTS AND DEDICATIONS

1. The developer shall make all necessary dedications (or, if appropriate, offer of dedications) for public rights-of-way on the following streets contiguous to the project to bring the roadways to the indicated classification.

STREET	CLASSIFICATION
Reed Road	Residential (36' roadway within 56' right-of-way)

2. All easements, both private and public, affecting subject property shall be shown and delineated on the Final Map.
3. A public utility easement shall be dedicated over the private streets. The public utility easement shall extend a minimum of five (5) feet beyond the improved, curb-to-curb roadway width.
4. The developer is responsible for making the arrangements to vacate all streets or quitclaim all easements of record which conflict with the proposed development prior to approval of the Final Parcel Map. All street vacations shall be accomplished by means of a separate public hearing. If an easement of record contains an existing utility that must remain in service, proof of arrangements to quitclaim the easement once new utilities are constructed must be submitted to the City Engineer prior to approval of the Final Parcel Map. Building permits will not be issued for lots in which construction will conflict with existing easements, nor will any securities be released until the existing easements are quitclaimed.

REPAYMENTS AND FEES

1. A cash security or other security satisfactory to the City Engineer shall be posted to pay any costs incurred by the City for cleanup or damage caused by erosion of any type, related to project grading. Any moneys used by the City for cleanup or damage will be drawn from this security. The remaining portion of this cleanup security shall be released upon final acceptance of the grading for this project. The amount of the cash security shall be 10% of the total estimated cost of the grading work up to a maximum of \$50,000, unless a higher amount is deemed necessary by the City Engineer. The balance of the grading work shall be secured by performance bonds; an instrument of credit, a letter of credit or such other security as may be approved by the City Engineer and City Attorney.
2. The developer shall be required to pay all development fees of the City then in effect at the time, and in such amounts as may prevail when building permits are issued.

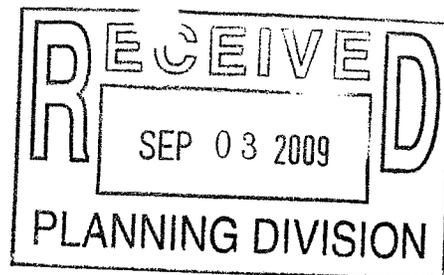
CC&R's

1. Copies of the CC&R's shall be submitted to the Engineering Department and Planning Department for approval prior to approval of the Final Map.

2. The developer shall make provisions in the CC&R's for maintenance by the homeowners of private roadways, driveways, parking areas, private utilities(including sewer and water), drainage treatment swales, storm drains and any common open spaces. These provisions must be approved by the Engineering Department prior to approval of the Final Map.
3. The developer shall make provisions in the CC&R's for maintenance, repair and access to all brow ditches which pass from one lot through an adjacent lot. Copies of an approved wording and format for this section of the CC&R's may be obtained from the Engineering Department.
4. The CC&R's must state that the property owners assume liability for damage and repair to City utilities in the event that damage is caused by the property owners' when repair or replacement of private utilities is done.

UTILITY UNDERGROUNDING AND RELOCATION

1. All existing overhead utilities within the subdivision boundary or along fronting streets shall be relocated underground as required by the Subdivision Ordinance. The developer may request a waiver of this condition by writing a letter to the City Engineer explaining his/her reasons for requesting the waiver. The developer will be required to pay a waiver fee as adopted by City Council resolution.
2. The developer shall sign a written agreement stating that he has made all such arrangements as may be necessary to coordinate and provide utility construction, relocation and undergrounding. All new utilities shall be constructed underground.



August 21, 2009

Mr. Darren Parker, Planner
City of Escondido
Planning Division
201 North Broadway
Escondido, Ca. 92025

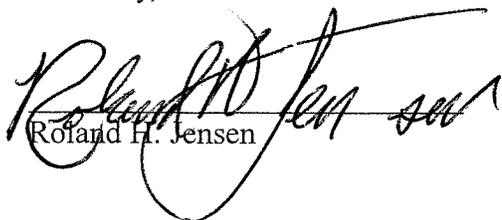
Re: Consent to File Tentative Parcel Map No. 08-0030

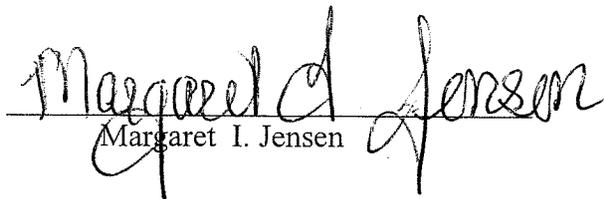
Dear Mr. Parker

We, Roland and Margaret Jensen, husband and wife, are the owners of property shown on Tentative Parcel Map No. 08-0030 and we consent to the filing of the Tentative Parcel Map. We understand a portion of the Private Access and Public Utility Easement and grading for a portion of the the Easement are shown on our property. We agree to grant the City of Escondido an Easement for Public Utilities over the portion of the Easement, as shown on the Tentative Parcel Map dated August 21, 2009.

Please contact us if you have any questions concerning this permission to file the Tentative Parcel Map.

Sincerely,


Roland H. Jensen


Margaret I. Jensen