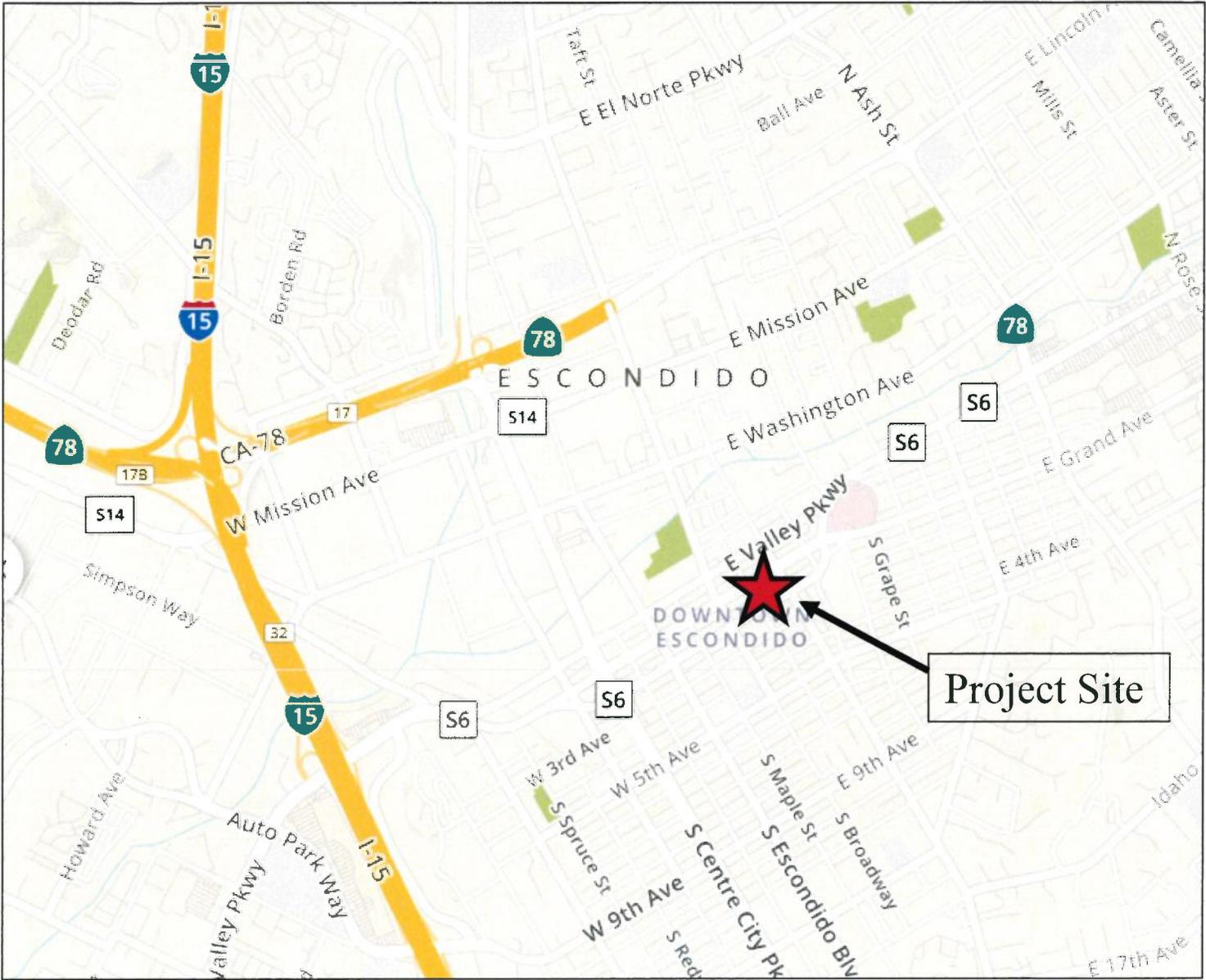
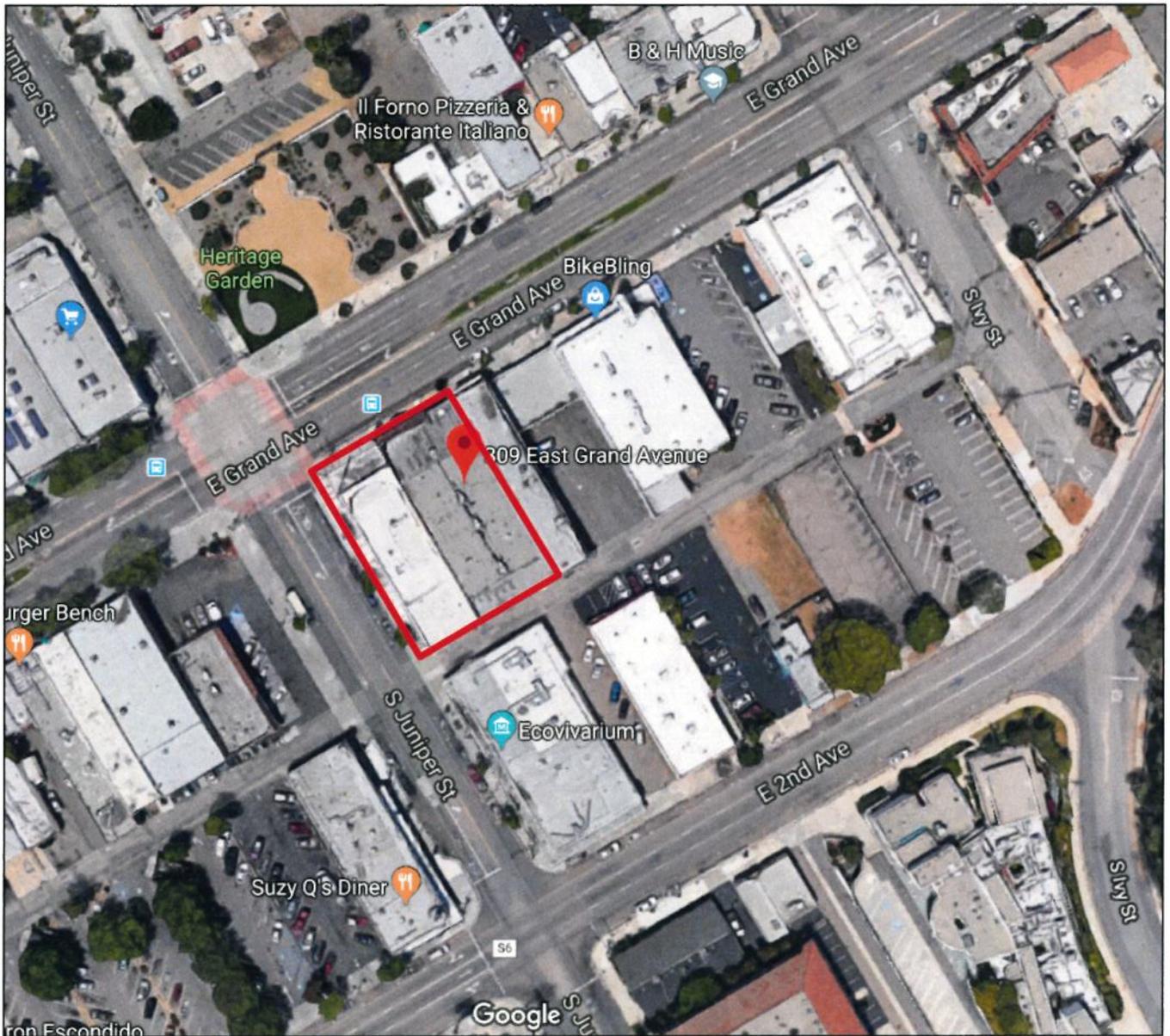


A. Location Map, Aerial Photo, Proposed Project Architectural Renderings and Elevations, by Plain Joe Studios.



301 and 309 E. Grand Avenue



301 and 309 E. Grand Avenue

plainjoestudios
ARCHITECTURE

WWW.PLAJJOESTUDIOS.COM 2345 PALMTE CREEK DR CORONA, CA 92381

These drawings are the architect's preparation and are not to be construed as a contract. The architect's responsibility is limited to the design and construction of the building. The architect is not responsible for the design and construction of the building's interior finishes, mechanical, electrical, plumbing, and other systems. The architect is not responsible for the design and construction of the building's exterior finishes, landscaping, and other systems. The architect is not responsible for the design and construction of the building's furniture, fixtures, and equipment. The architect is not responsible for the design and construction of the building's signage and other systems. The architect is not responsible for the design and construction of the building's security and other systems. The architect is not responsible for the design and construction of the building's fire and life safety systems. The architect is not responsible for the design and construction of the building's accessibility and other systems. The architect is not responsible for the design and construction of the building's energy and other systems. The architect is not responsible for the design and construction of the building's sustainability and other systems. The architect is not responsible for the design and construction of the building's other systems.

PLANNING DIVISION
CITY OF CALIFORNIA
ARCHITECTURE
1500 17TH ST
SAN DIEGO, CA 92161

NO.	DATE	COMMENT

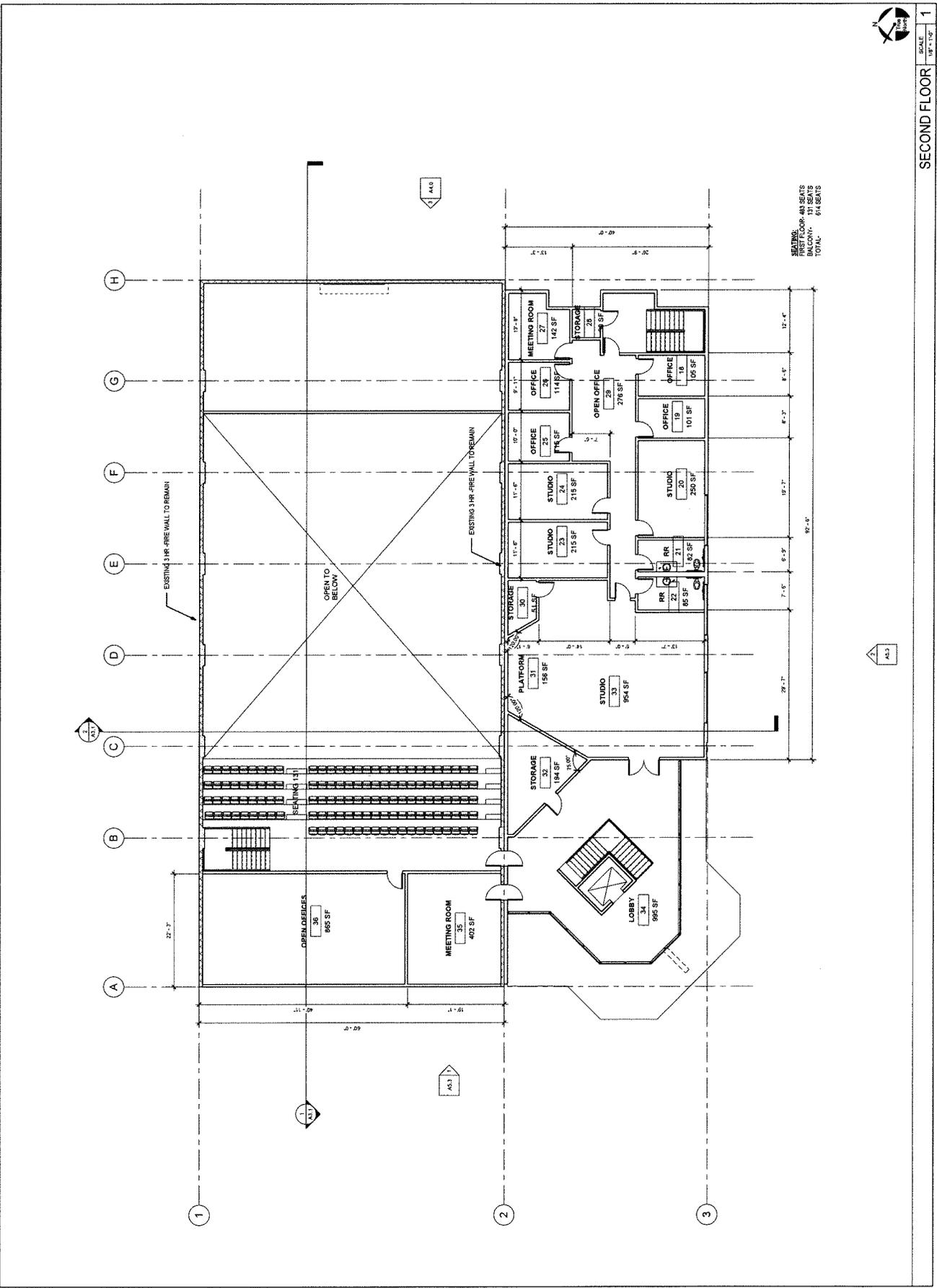
Restoration Community Arts, LLC
THE GRAND
301 and 309 E. Grand Ave, Escondido, CA 92026

SECOND FLOOR PLAN

CLIENT: Restoration Community Arts, LLC
PROJECT NAME: THE GRAND
ADDRESS: 301 and 309 E. Grand Ave, Escondido, CA 92026
CHECKER: [Name]
APPROVER: [Name]
PROJECT MANAGER: [Name]
DESIGNER: [Name]

BUILDING PERMIT NO.: [Number]
USE PERMIT NO.: [Number]
PROJ. NO.: 1064
DATE: 10-01-18

PROJECT STATUS: ENTITLEMENT SET
SHEET NO. **A2.0**





NO.	DATE	COMMENT

Restoration Community Arts, LLC
THE GRAND
 301 and 309 E. Grand Ave., Escondido, CA 92026

BUILDING PERMIT NO.
 1064

PROJECT STATUS
 ENTITLEMENT SET

DATE 10-01-18

PROJECT NO. 1064

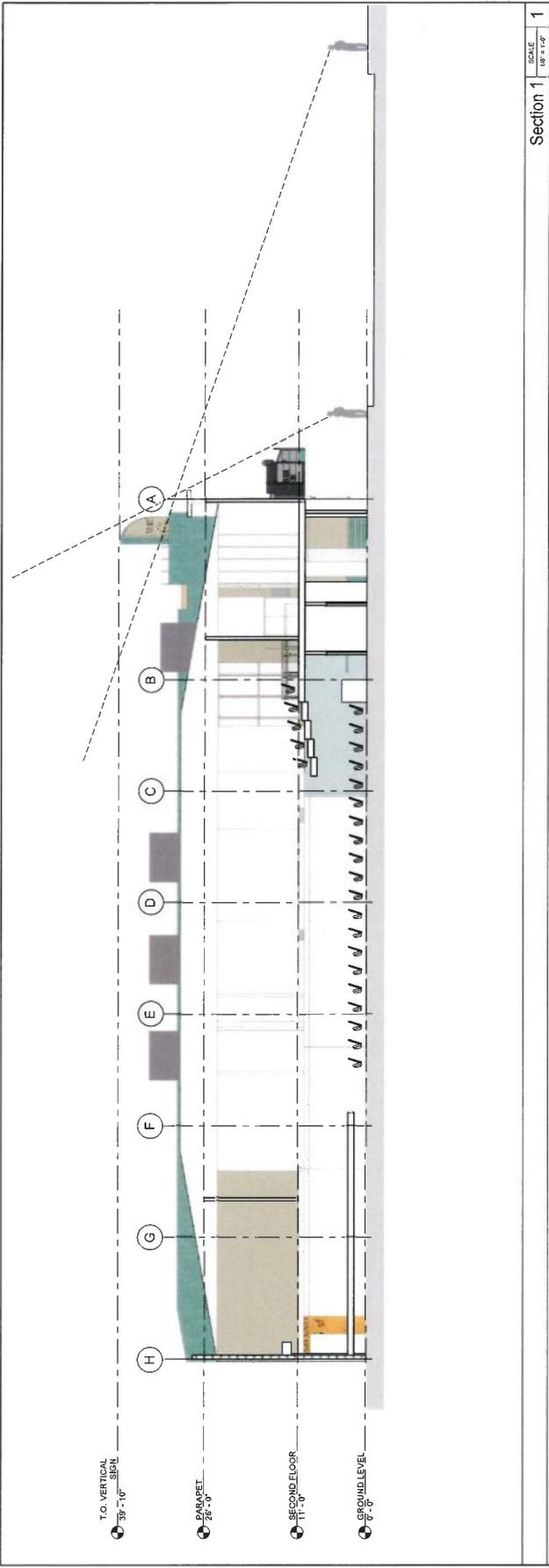
DESIGNER
 Justin L. Jones

PROJECT MANAGER
 Justin L. Jones

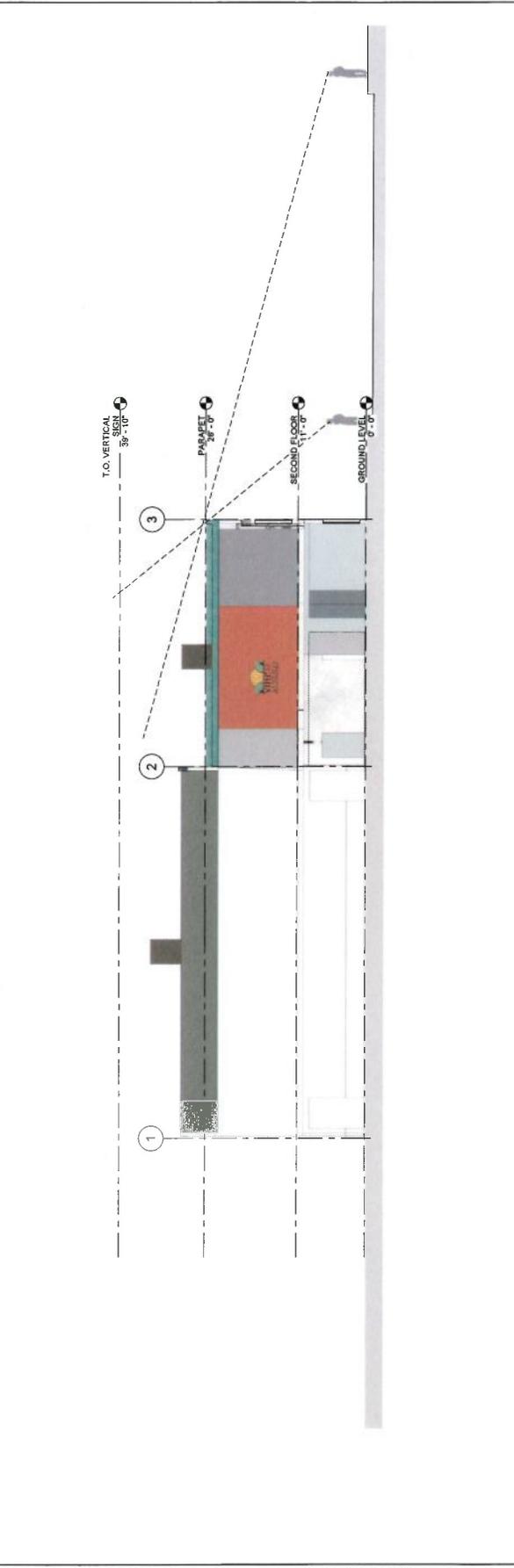
APPROVER
 Justin L. Jones

CHECKER
 Justin L. Jones

SHEET NO.
A3.1



Section 1 SCALE 1/8" = 1'-0"



Section 2 SCALE 1/8" = 1'-0"

SHEET NO. **A5.0**

ENTITLEMENT SET

PROJECT STATUS

DATE 10-01-18

PROJ. NO. 1064

DESIGNER

PROJECT MANAGER

APPROVER

CHECKER

BUILDING PERMIT NO.

CLIENT

PROJECT NAME

ADDRESS

301 and 309 E. Grand Ave., Escondido, CA 92026

THE GRAND

HISTORIC AND EXISTING STREET VIEWS

Restoration Community Arts, LLC

NO.	DATE	COMMENT

STAMP

plainjoestudios
ARCHITECTURE

7345 PUTTE CREEK DR. CORONA, CA 92881
WWW.PLANJOESTUDIOS.COM

These drawings were prepared by plainjoestudios architects in accordance with the California Building Code. The architect and the client have agreed that the drawings are for the client's use only and are not to be used for any other purpose. The architect and the client have agreed that the drawings are not to be used for any other purpose. The architect and the client have agreed that the drawings are not to be used for any other purpose.

EXISTING GRAND AVENUE VIEW



HISTORIC GRAND AVENUE VIEW



PROPOSED DESIGN

SHEET NO. A5.2

ENTITLEMENT SET

PROJECT STATUS

DATE 10-01-18

PROJ. NO. 1064

DESIGNER

PROJECT MANAGER

APPROVER

USE PERMIT NO.

CHECKER

BUILDING PERMIT NO.

CLIENT NAME

PROJECT NAME

ADDRESS

301 and 309 E. Grand Ave, Escondido, CA 92026

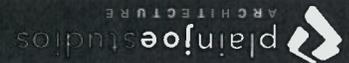
RESTORATION COMMUNITY ARTS, LLC

PROPOSED STREET VIEW



NO.	DATE	COMMENT

STAMP



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These drawings and the accompanying specifications are intended as a guide and are not a contract. The client is responsible for obtaining all necessary permits and approvals. The architect and contractor shall remain with the architect until project completion and shall remain with them until project close-out. The architect shall not be responsible for any errors or omissions in these drawings or specifications.

These drawings and the associated specifications are prepared for the use of the contractor and are not to be used for any other purpose. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws and regulations. The architect shall not be responsible for any errors or omissions in these drawings or specifications, or for any consequences arising therefrom. The architect shall not be responsible for any damage to or loss of property or any other liability of the contractor or any other party. The architect shall not be responsible for any delay or interruption of work or for any other consequences arising therefrom. The architect shall not be responsible for any other liability of the contractor or any other party.

REVISIONS

NO.	DATE	COMMENT

Restoration Community Arts, LLC
 301 and 309 E. Grand Ave. Escondido, CA 92026

SIGN EXHIBIT

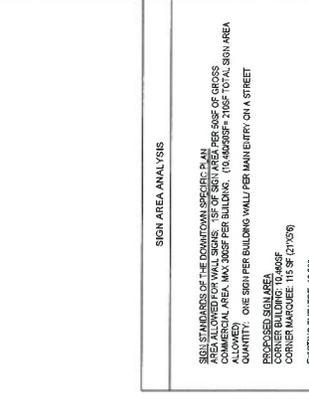
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 DESIGNER: []
 PROJ. NO.: 1084
 DATE: 10-01-18
 PROJECT STATUS: []
 ENTITLEMENT SET

SHEET NO. **A5.3**

GRAND AVENUE ELEVATION



JUNIPER ST ELEVATION



HISTORIC PERSPECTIVE



SIGN AREA ANALYSIS

SIGN STANDARDS OF THE DOWNTOWN SPECIFIC PLAN
 1. SIGNAGE PER WALL SQUARE FOOTAGE OF SIGN AREA PER BASE OF CROSS
 COMMERCIAL AREA: TWO BASES PER BUILDING. (1000SQR-FT SIGN AREA
 ALLOWED) QUANTITY: ONE SIGN PER BUILDING WALL PER MAIN ENTRY ON A STREET
 PROPOSED SIGN AREA
 CORNER BUILDING: 100SQR
 CORNER MARQUEE: 115 SF (1/15/19)
 EXISTING THEATRE: 163.50
 EXISTING MARQUEE: NO CHANGE TO EXISTING (175 SF)

